

Cibola Vista Self-Storage Conditional Use Permit



Project Narrative

*NWC of Lake Pleasant Pkwy. & Cibola Vista Dr.
A request for CUP with Site Plan*

*Application Numbers: CU22-08 and SP22-34
Re-filing date: September 16th, 2024*



PRINCIPALS AND DEVELOPMENT TEAM

Developer:

Abernathy Holdings

1845 S Dobson Rd., Suite 201

Mesa, AZ 85202

Phone: 618-978-6937

E-mail: dq@abernathyholdingco.com



Attorney:

Earl & Curley, PC

3101 North Central Avenue, Suite #1000

Phoenix, AZ 85012

Attorney: Taylor Earl

Principal Planner: Michael Buschbacher

Phone: (602) 265-0094

E-mail: tearl@earlcurley.com

E-mail: mbuschbacher@earlcurley.com



Architect:

RKAA Architects, Inc.

2233 E Thomas Road

Phoenix, AZ 85016

Contact: Robert W. Kubicek, RA

Phone: (602) 955-3900

E-mail: rkubicek@rkaa.com



Civil Engineer:

Helix Engineering

3240 E Union Hills Dr. #113

Phoenix, AZ 85050

Contact: Steve Bowser, PE

Phone: (602) 788-2616

E-mail: sb@hxeng.com

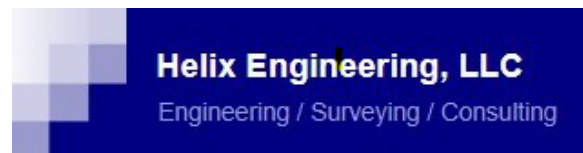


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Who is the Developer? The Developer of the proposed development is Abernathey Holdings, a development and holding company that specializes in the development and construction of Class A storage facilities. They adhere to longstanding principles of integrity and excellence, with over \$100M assets under management and 80 investors.



Abernathey owns and operates its own construction company, ensuring high-quality projects that are on time and within budget. Abernathey forms strategic relationships with leading self-storage and e-commerce partners to provide foundational support for its developments.

Abernathey is seeking a Conditional Use Permit with Site Plan, to develop this challenging triangle-shaped parcel into a high-quality self-storage facility that will be compatible with the adjacent single-family community.

Why self-storage? Being in the right location with the right development is important in the development of self-storage centers. Abernathey has carefully reviewed the market data in this area and based on that research has concluded there is sufficient market demand for not only self-storage at this location but also the type of Class-A facility it is proposing.

The increased demand for self-storage over the past decade is attributable to many different factors. Those include the following factors:

- The dramatic increase in housing development over the past several years;
- Baby Boomers are downsizing as they approach retirement but often do not wish to discard possessions;
- 18 percent of households are now multigenerational, which has steadily increased over the past decades;
- 56% of adults (18-24) are living at home;

- More employees since COVID-19 have converted their spare bedroom (which often double as an overflow storage room) to a home office;
- New self-storage facilities, which are climate controlled, secure, and often have internal loading and unloading areas, are more appealing to a broader consumer base than older centers, which increases demand for self-storage.

What is the proposed layout? Two floors of storage will be built above ground with one floor below grade for a total of 96,290 square feet. The site includes circulation, parking for 19 vehicles, and two dedicated unloading spaces. The site also includes landscaping along the Lake Pleasant Parkway Scenic Corridor around the parking lot. The building includes a 470 SF office with store front glazing with access to the loading/unloading area and storage spaces. An elevator is located close to the office and loading/unloading area.

What Design Elements Address Neighborhood Concerns? After two neighborhood meetings, we have obtained valuable neighborhood feedback. The following design features are not required by the zoning ordinance but are included into the plan and address neighbor concerns:

- We reduced from three stories above ground to two stories above with a basement.
- Even after reducing the height to two stories above ground, we further lowered the height from 32 feet (top of parapet) to 25' (top or parapet).
- We revised the architectural elevations to reflect the design aesthetic, colors, and materials of the adjacent resort and neighborhood (see before and after below). This includes the use of stone veneer on the building façade along Lake Pleasant Parkway.

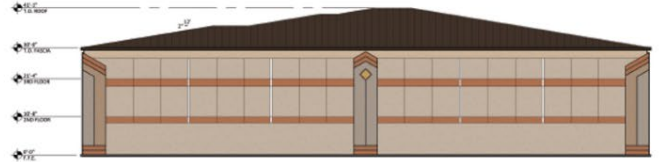


1 WEST ELEVATION
SCALE: 3/8" = 1'-0"

Prior Proposal



2 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



4 EAST ELEVATION
SCALE: 3/8" = 1'-0"

Exhibit B (Before) – Architectural Elevations

Additionally, below is a list of project features that, while required by the zoning ordinance, also address neighbor concerns:

- Row of trees along west property line to mitigate views of the building from the neighborhood, using a tree species that will produce minimal leaf and flower litter.
- 30-foot buffer from the western property line, pushing building away from neighborhood.
- Screening of storefront glazing with desert landscaping along Lake Pleasant Parkway to reduce commercial appearance.
- Eight-foot sidewalk along Lake Pleasant Parkway.

DESCRIPTION of PROPERTY and RELATIONSHIP to SURROUNDING PROPERTIES

Located on the northern edge of Peoria, eight miles south of Lake Pleasant, the site is on the west side of Lake Pleasant Parkway, across from the Cibola Vista Resort. The subject site is located within the approved Cibola Vista PAD area, which designates this site for retail commercial with C-2 uses. Self-storage is permitted in the C-2 zoning district with a Conditional Use Permit (CUP). The Planned Area Development (PAD), approved in March of 2001, encompasses over 240 acres, which has been mostly developed with the resort on the east side of Lake Pleasant Parkway and the West Wing Mountain subdivision to the east and north. The Pleasant Valley subdivision is located directly west of the site.

The subject site is level with a gentle slope to the south. At present the site is vacant with remnant fragments of native vegetation, due to the construction of Lake Pleasant Parkway and the routing of utility lines along both edges of the property. In general, the site is mostly a graded vacant dirt lot with little vegetation.

The site is currently serviced by utilities available within Lake Pleasant Parkway. The site is located within Flood Zone X (areas of minimal flooding) per the FEMA FIRM map currently on file for this location. Traffic generation to the use will be limited, and access to the site will be limited to right-in and right-out access only. Landscaping, planting palettes and screen wall themes are clearly defined within the Cibola Vista PAD, which is the guiding document for this site. A native plant inventory will be done as part of the development permitting process. Stormwater drainage will be accommodated with underground retention tanks and dry wells.

(Site Plan attached below on next sheet).

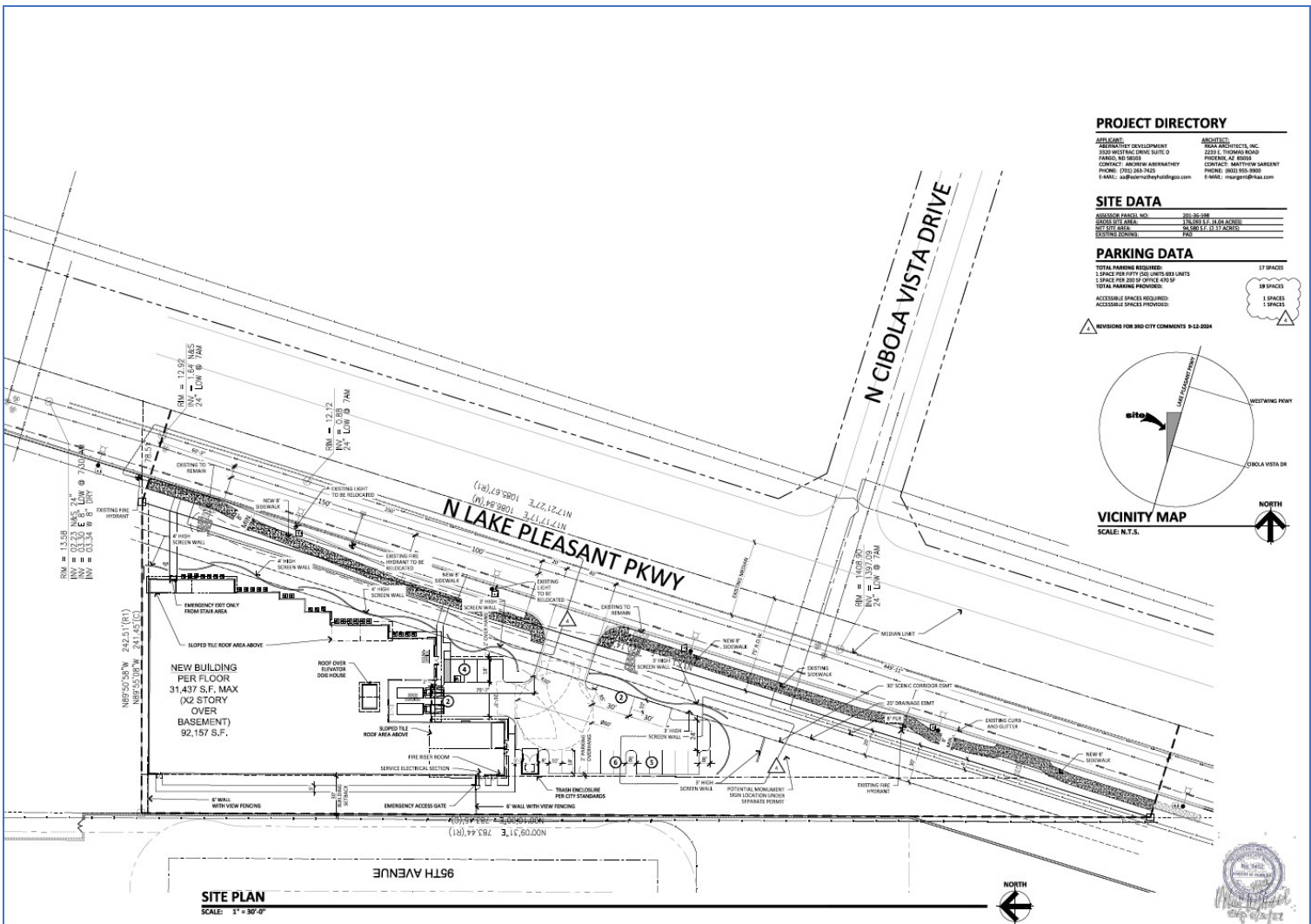


Exhibit C – Site Plan

GENERAL PLAN CONSISTENCY

The City’s Plan Peoria AZ General Plan 2040 Land Use map designates this site as “Commercial.” The subject site is zoned PAD with a C-2 designation, which is consistent with that General Plan designation. Similarly, the proposed self-storage use is also consistent with the General Plan’s designation of Commercial.

Even beyond the General Plan Land Use Map, the proposed development is consistent with various goals, policies, and stated intents of the City’s General Plan. Those will be analyzed below in numerical order as they appear in the General Plan.

Section 2.1 – Economic Prosperity, Prosperity, Strategies, page 2-3

- Support small businesses and cultivate entrepreneurship.

Self-Storage is regularly used by small businesses and entrepreneurs. Such businesses and ventures use storage for equipment, inventory, records, and more. Large businesses

may elect to accommodate such items on-site by leasing larger properties, larger warehouses, and larger offices. But small businesses need self-storage for such items because it is much more cost effective than leasing larger offices/warehouses and can be scaled as a business grows. Moreover, for home-based small businesses, self-storage frees up the entrepreneur's house and garage from being overrun by elements of the business.

By bringing in this additional service to the community the city is cultivating entrepreneurship for this self-storage business. Abernathey is a small business itself and with this development will support more small businesses, which are the life blood of the American economy.

Section 3.3 - Smart Growth, Land Use categories, Office and Local Commercial, page 3-26

- Supports low-intensity commercial development consisting of a variety of small to moderate in scale professional offices, medical and legal services, and ancillary retail uses.

A variety of services and businesses is critical for balanced economic development. Low intensity- uses like self-storage provide great value to the community while consuming only small amounts of the City's finite water, sewer, police, and fire resources.

Moreover, this proposal will serve as a conveniently located support for other low-intensity businesses, such as professional offices, medical and legal services in the area. It will provide a cost-effective storage location for equipment, inventory, and files.

As Peoria seeks to support low-intensity commercial uses, it needs to provide tools for supporting such uses. Storage is one of those tools. And it makes most sense to provide that tool on a parcel that would struggle to be developed with anything else.

- This project has a character and building height of one to two stories due to proximity to residential neighborhoods.

Over the past decade, it has become clear that internal self-storage is a great option for infill parcels adjacent to residential uses. This is due to their nature of having low activity, low traffic, low lighting, and high security. Our proposed building will be a two-story building above ground with a basement. The architectural character is like the surrounding residential homes and the nearby resort. The building was re-designed to blend in with the surrounding residential neighborhood. In addition, our building does not have windows that would look down on the adjacent neighborhood, such as would be the case with an office building or multifamily. Our proposal also does not bring back of house elements such as grease traps, delivery areas, outdoor storage, and smoke-break areas—which are common in restaurants and retail establishments.

Section 3.3 - Smart Growth, Land Use categories, Commercial, page 3-28

- Retail uses that includes a wider variety of goods and services compared to neighborhood shopping areas.

Neighborhood shopping areas typically include a supermarket with daily convenience shops such as a drugstore, dry cleaner, shoe repair, coffee shop and bank, but not self-storage. Self-storage is part of a wider variety of services that goes beyond a neighborhood shopping use. As self-storage becomes more innocuous with climate-controlled buildings that look more like an office building, they are increasingly becoming a critical service that is being added to well-designed neighborhoods adjacent to shopping centers.

- Encourages uses along arterial streets for ease of access.

Four-lane arterial streets are the backbone of the street network. This classification of roadways provides high-capacity urban roads that carry longer-distance flows of traffic between centers of activities. This is why it is advantageous to locate services, such as self-storage, along these types of roads. The site is located on Lake Pleasant Parkway, a four-lane arterial parkway that provides ease of access to and from the site. Arterial roads provide the highest level of mobility, which is desirable when you need to access a business quickly, for short periods of time.

Additionally, to support the intent of these types of roadways, it is helpful to limit left-turn movements. Here, because of self-storage's low traffic generation, the center is able to thrive without seeking to petition the city for a median break.

- Character that is reflected in an architectural style that is consistent throughout a larger center, or is complimentary to other nearby commercial sites, where all sides of the buildings feature architectural treatments of the facades.

Efforts were made to revisit the architectural elevations to apply similar materials and colors from the adjacent residential neighborhood and the Cibola Vista Resort directly across the street from the site. The revised site plan and elevations reflect the nearby architectural character of the resort by utilizing a similar paint pallet, stone veneer, and other architectural features. The scale and height of the facility are consistent with the Pleasant Valley Subdivision to the west, where two story homes are allowed with heights up to 28 feet, which is three feet taller than our proposed building with a height of 25 feet.

Section 3.8–Smart Growth-Goals and Policies, Balanced Land Uses, page 3-41.

This section includes several policies that promote a balanced mix of land uses that support a broad range of housing and lifestyle choices, business, and employment opportunities, etc. Several policies apply to this project.

LUC-1 Promote sustainable planning concepts for growth, new development, areas in transition through active citizen participation.

An active citizen participation plan is critical for the development of any project. It is important to receive comments and feedback and then respond to this feedback in a positive way that is reflected in changes to the project. Great efforts have been made in this case to listen carefully to the residents, answer their questions, and address concerns where possible through re-designs of the project. Though not required, we held a second, follow-up neighborhood meeting to bring back a heavily revised design and to continue to hear and respond to neighborhood questions and concerns.

Evidence of our outreach efforts can be seen above in the list of items that the citizen participation process affected in the final design of this project. This project has gone beyond the required citizen participation process, in good measure, and we believe our project is better because of it.

LUC-3 Integrate a variety of compatible land uses into new and established neighborhoods to provide residents with convenient access to goods, services, and other community amenities.

The Pleasant Valley subdivision to the west was constructed in 2002 and has been mostly built out since 2006. Pradera and Escena, the most recent phase of the nearby WestWing Mountain subdivision were built as recently as 2018-19. The proposed project sits between these two subdivisions and will be providing convenient access to the services of our storage facility. This project is proposed on a remnant sliver shaped triangle parcel, where little else could be developed. This facility will provide an available service to both the established Pleasant Valley neighborhood, the newly established neighborhoods in WestWing, and additional housing developments that are being proposed in the area.

LUC-8 Use the principles of sound water management to inform and shape the land use patterns within the community.

Sound water management is essential in the desert southwest. It is important to minimize water use when possible. Self-Storage uses consume very little water, only a small amount for the office and bathroom uses. Cooling units will be air conditioning, which will drip condensation back into the landscaping. All plant material will be from the low water use plant lists in compliance with the local drought tolerant water user associations. We anticipate that our proposal will use less water than a single-family home.

Section 3.8—Smart Growth-Goals and Polices, Complete Neighborhoods, page 3-41.

CN-1 Promote efforts to make complete neighborhoods by encouraging the development of a mix of complementary uses and amenities that meet the daily needs of residents.

The need and use of storage has clearly grown in recent years. There are many reasons why self-storage has become an essential service and should be included as part of a mix of complimentary uses. While they may not be the most exciting use, they are heavily used by residents and businesses in every community.

By approving this use on a difficult to develop parcel, the city would be supporting “complete neighborhoods” with a complimentary mix of uses.

CN-3 Protect the pattern and character of existing neighborhoods by requiring new infill developments to have complimentary building forms and site features.

The proposed building uses complimentary building forms from both sides of Lake Pleasant Parkway, incorporating design elements of the resort and the nearby residences. Efforts were made to revisit the architectural elevations to apply similar materials and colors from the adjacent residential neighborhood and the Cibola Vista Resort directly across the street from the site. The revised site plan and elevations reflect the nearby architectural character of the resort by utilizing a similar paint pallet, stone veneer, and other architectural features. The scale and height of the facility are consistent with the Pleasant Valley Subdivision to the west, where two story homes are allowed with heights up to 28 feet, which is three feet taller than our proposed building height of 25 feet.

Section 3.8–Smart Growth-Goals and Polices, Complete Neighborhoods (cont.)

CN-5 Require new commercial and mixed-use developments to have a pedestrian-scale and orientation by:

- Placing the building and outdoor gathering spaces along or near the sidewalk.

The building entrance is positioned on the southeast corner of the building, adjacent to the Lake Pleasant Parkway sidewalk.

- Designing the building with ground floor retail frontages or storefronts that front the street.

The ground floor will use a glass storefront that will front the street and provide a pedestrian scale and orientation.

Summary of General Plan Analysis

The proposed self-storage facility provides a use that will help increase the diversity of services provided for the immediate area, where there currently are no self-storage

services within 2-miles of this site, thus contributing to the goal of providing a wider variety of services and goods. The site is located on an arterial street and has employed the use of nearby architectural styles consistent with the existing Cibola Vista Resort. All sides of the building feature architectural treatments such as the use of stone and architectural pop-outs and cornices to provide visual variation. All of the above-mentioned facts are consistent with the general plan designated land use category of commercial as described in section 3.3 under land use within the category of the Smart Growth, within the Office and Local Commercial, Commercial, Balance Land Uses, and Complete Neighborhoods sections.

In addition, within Section 2, Economic Prosperity, one of the most important roles of economic development is to ensure that there is an adequate supply of land and buildings to accommodate the needs of all existing and future businesses. With approval of this request, Peoria will be adding a service that will support other businesses, which furthers the City's economic development goals. Additionally, self-storage supports the development of residential and residential in turn helps attract and support restaurants, retail, entertainment, and employment uses. Again, while we recognize that storage may not be exciting, it is needed, and it is used. It has become an important element of the development eco-system. Approving this CUP will create a tool that will support more economic development—all on a parcel that is ill-suited for anything else.

REQUEST

The formal request would be for a decision of approval of a Conditional Use Permit (CUP), to allow for the construction and operation of a self-storage facility, within the Cibola Vista Planned Area Development on a remnant parcel, listed as assessor's parcel number 201-36-598. As per the zoning ordinance, Section 21-321.A.1, states that a Conditional Use Permit shall be issued for all designated conditional uses under the Peoria Zoning Ordinance. In our case, the conditional use is allowed in the C-2 zoning district. Per 21-321.E the following criteria will be used to evaluate requests for a CUP.

1. Whether the use is designated as a permitted Conditional Use within the zoning district in which the property is located.
2. Whether the use meets the locational and development standards provisions, as applicable for the Conditional Use Permit, for the zoning district in which the property is located.
3. Whether the use is consistent with the goals, policies, and intent of the General Plan and any adopted Specific Plan applicable to the site where the proposed use is located.
4. Whether the use is consistent with documentation and recommendations provided by reviewing City Departments.

5. Whether the use complies with all applicable City Codes, standards, and guidelines governing such use.
6. Whether the use will be materially detrimental to the health, safety, or general welfare of persons residing or working in the vicinity of the property, to the neighborhood, or to the public welfare; or if the use will unreasonably interfere with the use and enjoyment of nearby properties. Consideration shall include, but not be limited to the following factors:
 - a. Damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination;
 - b. Impact on surrounding areas resulting from an unusual volume or character of traffic;
 - c. Ingress and egress to the property and proposed structures;
 - d. Pedestrian and vehicular circulation with particular reference to fire protection;
 - e. Parking and loading; and,
 - f. Impact on public services, including schools, utilities, and recreation.

JUSTIFICATIONS FOR THIS CONDITIONAL USE PERMIT

Upon review, it is clear to us that the evaluation criteria for this Conditional Use Permit have been met. We have provided below a detailed explanation of how each criteria has been met.

1. Whether the use is designated as a permitted Conditional Use within the zoning district in which the property is located.

The approved Cibola Vista PAD has designated this site with an underlying zoning district of C-2 Commercial use. Under C-2 (Section 21-503) Mini-Storage Warehouses are permitted with a CUP.

2. Whether the use meets the locational and development standards provisions, as applicable for the Conditional Use Permit, for the zoning district in which the property is located.

The use meets the locational and development standards provisions, as applicable for the Conditional Use Permit, per section 21-505, D, part 1 under C-2 zoning district standards allowed in the approved Cibola Vista PAD. The land use allocation is retail commercial, and the land use conditions applied to the site are specifically for mini storage.

3. Whether the use is consistent with the goals, policies, and intent of the General Plan and any adopted Specific Plan applicable to the site where the proposed use is located.

The use is consistent with many of the goals, policies, and intents of the General Plan. Please see the above section regarding General Plan consistency for further detail.

4. Whether the use is consistent with documentation and recommendations provided by reviewing City Departments.

The use is consistent with documentation and recommendations provided by reviewing City Departments. Comments from the pre-app meeting, the first submittal review and a subsequent meeting with staff have been implemented.

5. Whether the use complies with all applicable City Codes, standards, and guidelines governing such use.

The use complies with all applicable City Codes, standards, and guidelines governing self-storage. During the site plan and building permit process, the project will undergo additional review to ensure that applicable codes, standards, and guidelines for this use are complied with.

6. Whether the use will be materially detrimental to the health, safety, or general welfare of persons residing or working in the vicinity of the property, to the neighborhood, or to the public welfare; or if the use will unreasonably interfere with the use and enjoyment of nearby properties. Consideration shall include, but not be limited to the following factors:
 - a. Damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination;
 - b. Impact on surrounding areas resulting from an unusual volume or character of traffic;
 - c. Ingress and egress to the property and proposed structures;
 - d. Pedestrian and vehicular circulation with particular reference to fire protection;
 - e. Parking and loading; and,
 - f. Impact on public services, including schools, utilities, and recreation.

This portion of the CUP standards has various sub-elements, which we address below. In short, the use will not be materially detrimental to the health, safety, or general welfare of persons residing or working in the vicinity of the property, to the neighborhood, or to the public welfare. Nor will it unreasonably interfere with the use and enjoyment of nearby properties. In particular:

- a. No damage or nuisance will arise from noise, smoke, odor, dust, vibration, or illumination for this project. Self-storage is now well understood

to be a quiet, low-impact neighbor to residential. Our firm has found them to be a great solution for commercial properties next to residential uses because of how low-impact and low-activity they are.

b. There will be little to no impact on surrounding areas resulting from an unusual volume or character of traffic. This is due in large part to the nature of how self-storage facilities are used and the very small number of daily trips that this use generates.

c. Ingress and egress to the property will be limited to southbound Lake Pleasant Parkway traffic with right-in and right-out movements for ingress and egress.

d. Pedestrian and vehicular circulation will allow for emergency exit pathways from the building and will allow for firefighting apparatus to be able to access the site for public safety activities and fire protection.

e. Self-storage requires very few parking spaces because of its low trip generation. And after leasing a unit, customers will often park in the loading and unloading area rather than in the parking lot. Thus, the site's parking and loading needs are fully accommodated within the site. Parking will be at 90-degree angles for safer parking conditions and the drive aisle will be wide enough to accommodate the anticipated vehicular traffic for this use. Loading will occur indoors, so as not to be visible to the neighborhood.

f. The use will have little impact on public services. It does not generate any students. It uses very little water and sewer. And it generates no use of recreational facilities.

Based on our analysis, we firmly believe the proposal meets all of the CUP requirements. The use will not be detrimental to the health, safety or general welfare of any persons residing or working in the vicinity of the property and will not unreasonably interfere with the use and enjoyment of nearby properties. In addition, Self-storage facilities use very little water, wastewater and electrical capacity as compared to office or neighborhood commercial uses of the same square footage. Low demand on City and other utility infrastructure leaves excess capacity to support other higher-intensity commercial uses in the area which may also ultimately enhance tax revenue.

The posture of a CUP request is fundamentally different than a rezoning request. Those uses that are listed as requiring a CUP are simply uses that the city wants to examine in its context before approving. They are permitted uses, subject to simply meeting the criteria set forth in the CUP. And the ordinance is clear that if the proposed use meets those criteria, the CUP "shall be issued." In other words, unlike zoning that is fully discretionary, CUP applicants have the assurance that if their use meets the CUP criteria, they have a right to obtain the CUP. Here, there is no question that our use meets the CUP criteria. We respectfully request, therefore, that this CUP be granted.

PLANNED AREA DEVELOPMENT – REVIEW AND ANALYSIS

The Cibola Vista Planned Area Development, as amended by Z-00-10A.2, carved out portions of the plan for retail in addition to a larger plan for residential and a resort component. As a part of implementing the PAD for this site an interpretation was requested to determine the applicable setback and landscape buffer along Lake Pleasant Parkway and the maximum building height.

It was determined by the Planning Director that the setback, landscape buffer and building height under the PAD would be a building setback of 30 feet, a landscape setback for Lake Pleasant Parkway of 30 feet, and a maximum building height of 25 feet. The planning director's interpretation letter has been included with this update narrative.

GENERAL DEVELOPMENT PLAN - PHASING

This project would be built in a single phase.

PUBLIC PARTICIPATION

Two neighborhood outreach meetings have been conducted with adjacent property owners within 600-feet and Property Owner's Associations within 1-mile of the site as a part of the Conditional Use Permit application process. A citizen participation /neighborhood meeting summary has been submitted, showing how the number of concerned citizens has been reduced significantly after listening to the community, revising the plans, and updating the elevation to include more design elements from the surrounding area. The input from the neighborhood and residents has been very important and helped inform the direction of the design revisions. For more detail, refer to the attached citizen participation report and to the section of this document identifying the design elements that address neighbor concerns.

CONCLUSION

The proposal meets the City's CUP criteria and should be granted.

Moreover, the proposed use will bring a quality development to a small, triangle-shaped parcel that is ill suited for other uses. The proposal is consistent with the General Plan and will act as a low-traffic, low-activity, low-light neighbor to the residential to the west. It will provide a needed commercial use for current and future residents in the area as well as offices and other commercial operations. As designed and re-designed based on neighbor and staff feedback, the proposal fits in very well with the aesthetics of the community.

Thank you for your consideration of this application.