
Exhibit E - City Code Amendment

Amendment for Adoption to the Peoria City Code, Chapter 21

Section 1. Amend Chapter 21 - Zoning, Section 21-800 Supplemental only as follows, leaving all other sections and subsections not specifically referenced unchanged:

Sec. 21-800. LANDSCAPE. SUPPLEMENTAL REGULATIONS

Sec. 21-801 through 814 is removed in its entirety.

Sections 21-801 through 21-814 Reserved

Sec. 21-816. Interpretation and Scope.

- A. The provisions of this Section of the Peoria Zoning Ordinance shall apply to a lot, site, or parcel of land when an application is being made for:
1. Site plan approval pursuant to Section 21-~~156320~~.
 2. Signs pursuant to Section 21-~~700827~~ of this Ordinance where landscaping is required.
 3. Subdivisions pursuant to Chapter 24 of the Peoria City Code.

Sec. 21-820. Plan Submittal Requirements.

- A. *Conceptual Landscape Plan.*
1. *Submittal Requirements.* If these landscape regulations apply to a lot or site that is subject to site plan review as set forth in Section 21-~~156320~~, of this Ordinance, or that is processed as a subdivision plat, then a conceptual landscape plan shall be submitted as part of the Site Plan or Preliminary Plat application.
 2. *Plan Format and Content.*
 - a. Submittals for multi-family and non-residential developments shall conform to the guidelines of the Site Plan and Design Review Process Guide.
 - b. Submittals for single-family residential developments shall conform to the guidelines of the Subdivision Development Process Guide.
 - c. Process guides are available from the ~~Planning Community Development~~ Department.
 3. *Plans Review.* Conceptual Landscape Plans shall be reviewed for compliance and approved in accordance with the requirements of this Section.

Sec. 21-823 through 826 are removed in their entirety and renumber into Chapter 21 - Zoning, Section 21-900 Parking and Loading as noted below.

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Section 2. Insert and renumber 21-823 through 21-826 into Chapter 21 - Zoning, Section 21-900 Parking and Loading, and amend only those sections and subsections as follows:

Sec. 21-900. PARKING AND LOADING.

Sec. 21-~~901~~**823**. Intent.

Sec. 21-~~902~~**824**. Plans Required.

Sec. 21-~~902~~**825**. Parking Requirements.

Off-street parking spaces shall be provided according to the following provisions and standards.

A. General Provisions.

1. *Floor Area.* The term "floor area" for the purpose of calculating the number of required parking spaces shall be the "Gross Floor Area" of the structures plus defined exterior use areas minus 10 percent (10%) except as may hereinafter be provided or modified.
2. *Change of Use or Occupancy of Buildings.* Off-street parking and loading spaces as required herein shall be provided at the time of any new uses of land or construction of a new building. Any change of use or occupancy of any building or buildings, including additions thereto, requiring more parking shall not be permitted until such additional parking spaces as required by this Section are provided.
3. *Parking for a Residential Use.* Off-street parking facilities for residential uses shall be utilized solely for the parking of licensed and operable passenger vehicles owned by the occupants of the residence or the parking of passenger automobiles by guests of said occupants. Parking and storage requirement for recreational vehicles, commercial vehicles, utility trailers and boats shall be as required by the City of Peoria Parking Code and Section 21-~~902~~**825**.B. of this Section. Under no circumstances shall required parking facilities for a residential structure be used for storage of commercial vehicles or equipment or for the parking of vehicles belonging to the employees, owners, tenants, or customers of business or manufacturing establishments except as provided in Chapter 14 ~~of the 1992~~ Peoria City Code.
4. *Parking Stall Dimensions.* The following shall be the minimum parking stall size:

Type	Width	Length ♦
Standard	9.5 feet	20 feet
Accessible Handicapped	16 feet	20 feet
Compact	8 feet	16 feet
Parallel	8 feet	24 feet

- ♦ The front of the parking space may overhang two (2) feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a four (4) foot wide clearance for pedestrian access.

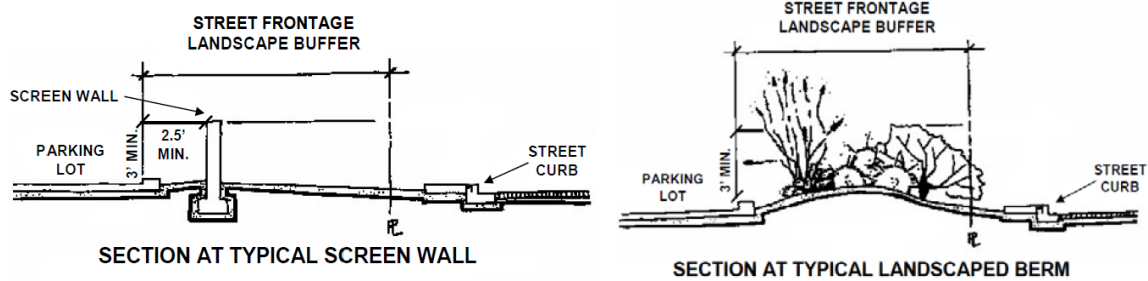
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5. *Parking Aisle Dimensions.* The following shall be the minimum parking aisle width:

Parking Angle	One-Way Aisle	Two-Way Aisle
90 degree	24 feet	24 feet
60 degree	18 feet	22 feet
45 degree	15 feet	20 feet
30 degree	13 feet	20 feet

6. *Compact Parking.* Compact parking spaces shall not exceed 15 percent (15%) of the total required parking spaces. Projects providing parking in excess of the minimum required number of spaces may utilize any combination of compact and standard spaces for excess parking areas.
7. *Parking Lots.* Parking lots shall be designed in groupings no larger than two hundred (200) spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.
8. *Within Structures.* The off street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street parking provisions of this Section.
9. *Circulation Between Bays.* Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except one, two or three-family dwellings.
10. *Surfacing.* All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.
11. *Striping.* Except for one, two and three-family dwellings, all parking stalls shall be marked with painted lines not less than four inches (4") wide.
12. *Lighting.* Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public rights-of-way and shall be a maximum of twenty-five (25) feet in height above the surface of the parking lot for non-residential uses and sixteen (16) feet for residential uses.
13. *Protruding Vehicles.* All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.
14. *Screening and Landscaping.* All off-street parking lots of four (4) or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall or combination thereof at least three (3) feet high, as measured at finished grade adjacent to the parking area to be screened. All walls shall be installed a minimum of two and one-half (2.5) feet back from the edge of the parking stall. Parking area landscaping shall be provided in accordance with Section 21-815 of this Ordinance.

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15. *Maintenance.* It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.
16. *Use of Required Parking Areas for Parking Only.* Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.
17. *Signs.* No sign shall be so located as to restrict the sight lines and orderly operation and traffic movement within any parking area. All signs shall conform to the requirements of Section 21-[700827](#).
18. *Parking Canopies, Non-Residential and Multi-Family Residential Land Uses.*
 - a. Covered parking canopies may be located within the required side and rear building setbacks but may not encroach into required landscaped buffers. The height of such structures shall be limited to ten feet (10') from grade and the structures shall drain onto the property on which they are located.
 - b. The height of parking canopies not within the required side or rear building setbacks shall be limited to fifteen feet (15') from grade.
 - c. All parking canopies are subject to the [Community Design Guidelines Review Manual](#).
 - d. Setbacks are measured from property line to nearest edge of canopy.
 - e. All required landscaping, parking or otherwise, shall be provided.
 - f. This portion of the Zoning Ordinance is not intended to supersede approved zoning stipulations or conditions of approval.

Sec. 21-[903826](#). Off-Street Loading Requirements.