



# **PLANNING AND ZONING COMMISSION REPORT**

**Meeting** February 19, 2026

**Date:**

**Agenda Item:** 3R

**Case Name:** Minor General Plan Amendment, The Shoppes & The Cove,  
LPP & Deer Valley (GPA25-06)

## **General Application Information**

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*Proposal:*

Request to amend the General Plan Land Use designation from Mixed Use Main Street (12-20+ dwelling units per acre) to Mixed Use Neighborhood Village (12-20 dwelling units per acre) for approximately 24.2 acres.

*Location:*

NEC Lake Pleasant Pkwy & Deer Valley Rd

*Project Acreage:*

Approximately 24.2 acres

*Applicant:*

Jennifer Hall of Rose Law Group, on behalf of Lennar Homes LLC

## **Project Description**

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*This request has been proposed in combination with the associated rezoning request Case Z25-12. These cases will be presented together but will be considered in separate actions.*

*Please note that the associated staff report, exhibits, and findings for the subject case are contained within the materials for Case Z25-12 to avoid redundancy.*

### **ATTACHMENTS:**

Description

Exhibit 1 - Vicinity Map



# Vicinity Map | Exhibit 1

The Shoppes and the Cove at Camino a Lago (GPA25-06, Z25-12)





# **PLANNING AND ZONING COMMISSION REPORT**

**Meeting** February 19, 2026

**Date:**

**Agenda Item:** 4R

**Case Name:** Rezoning, The Shoppes & The Cove, LPP & Deer Valley Road (Z25-12)

## **General Application Information**

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*Proposal:*

Request to to rezone approximately 24.2 acres from General Agricultural (AG) to The Shoppes and The Cove at Camino A Lago Planned Area Development (PAD) which would allow approximately 8 acres of commercial development and approximately 16.2 acres of single family residential for up to 105 lots.

*Location:*

NEC Lake Pleasant Pkwy & Deer Valley Rd

*Project Acreage:*

Approximately 24.2 acres

*Applicant:*

Jennifer Hall of Rose Law Group, on behalf of Lennar Homes LLC

## **Project Description**

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*This request has been proposed in combination with the associated Minor General Plan Amendment Case GPA25-06. These cases will be presented together but will be considered in separate actions.*

*Please note that the associated staff report, exhibits, and findings for GPA25-06 are contained within the materials for Case Z25-12 to avoid redundancy.*

### **ATTACHMENTS:**

Description

Staff Report

Exhibit 1 - Conditions of Approval

Exhibit 2 - Vicinity Map

Exhibit 3 - General Plan Land Use Map

Exhibit 4 - Zoning Map

Exhibit 5 - Narrative

Exhibit 6 - PAD Standards and Guidelines Report

Exhibit 7 - Citizen Participation Plan

Exhibit 8 - Public Comment



# PLANNING & ZONING COMMISSION

## STAFF REPORT

Meeting Date: February 19, 2026

Agenda Item(s): 3R & 4R

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**TO:** Planning and Zoning Commission

**THROUGH:** Chris M. Jacques, AICP, Planning Director

**FROM:** Cody Gleason, AICP, Planning Manager

**SUBJECT:** The Shoppes & The Cove at Camino-A-Lago  
Minor General Plan Amendment (GPA25-06) and Rezone (Z25-12)  
NEC of Lake Pleasant Parkway & Deer Valley Road

### ***REQUEST***

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The applicant is requesting the approval of a Minor General Plan Amendment (3R) and Rezone (4R) to facilitate a new horizontal mixed-use development consisting of a commercial center and a 105-lot detached single-family residential subdivision on an approximately 24-acre site located at the northeast corner of Lake Pleasant Parkway and Deer Valley Road.

### ***APPLICATION INFORMATION***

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**Case Numbers:** General Plan Amendment (GPA25-06) and Rezone (Z25-12)

**Applicant:** Rose Law Group, PC on behalf of Lennar Homes and Barclay Group

**Request:**

1. Amend the General Plan Land Use Map designation on the site from Mixed-Use Main Street (12-20+ dwelling units per acre) to Mixed-Use Neighborhood Village (12-20 dwelling units per acre).
2. Rezone the approximately 24-acre site from General Agricultural (AG) to The Shoppes and The Cove at Camino-A-Lago Planned Area Development (PAD).

### ***BACKGROUND AND CONTEXT***

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#### **SUBJECT SITE**

The subject site is located at the northeast corner of Lake Pleasant Parkway and Deer Valley Road, as depicted in **Exhibit 2**. The site is a rectangularly shaped parcel that is approximately 24 acres in size. As indicated by the name, the site is located within the Camino-A-Lago community. The subject site was recently auctioned by the Arizona State Land Department in April of 2025.

#### **CONTEXT**

The site is aptly characterized as an infill parcel as it is surrounded by existing development to the north, east, south, and west. The proposed development seeks to provide a transition in intensity from the adjacent single-family residential subdivision to the signalized intersection of Lake Pleasant Parkway and Deer Valley. Along the northern boundary of the subject site is Speckled Gecko Drive followed by 'The Meadows' single-family residential subdivision to the north. East of the site is a wash and open space trail within a separate portion of The Meadows subdivision featuring additional single-family lots. Overall, The Meadows community provides a range of lot sizes and uses that transition from lower density at the northeast corner to higher density (smaller lot sizes) at the southwest corner which abuts the subject site to the north and east. The residential lots within The Meadows adjacent to the subject site are typified by 5,000 and 6,000 square foot lot minimums.

Along the southern perimeter is Deer Valley Road (Major Arterial Roadway) followed by the large-scale commercial uses to the south within the Camino-A-Lago Marketplace; with major anchor tenants such as Wal-Mart, and EōS Fitness.

The southwest corner of Lake Pleasant Parkway (diagonally across the intersection from the subject site) is another single-family residential subdivision which is Camino-A-Lago Parcel 12. Parcel 12 is characterized by approximately 5,000+ square foot lots.

Immediately adjacent to the subject site’s western boundary is Lake Pleasant Parkway (Limited Access Parkway). Beyond Lake Pleasant Parkway is the Casa Del Rey Subdivision within Camino-A-Lago. Similar to ‘The Meadows’ subdivision, lower density elements transition to higher density / smaller lots as you approach the intersection of Lake Pleasant Parkway and Deer Valley Road. As such, the Casa Del Rey single-family residential lots near the intersection consist of what is typically referred to as ‘Alley Loaded’ homes on approximately 2,800+ square foot lots.

**APPLICANT’S PROPOSAL**

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The applicant is proposing a horizontal mixed-use development consisting of approximately one-third commercial, and two-thirds single-family residential. The proposed development provides for commercial uses at the signalized intersection which then transitions to small-lot alley loaded single-family residential on the eastern two-thirds of the site as it approaches the boundary with the existing Meadows single-family subdivision.

To facilitate the proposed development, the applicant is seeking two requests. The first request is a Minor General Plan Amendment (Item 3R) to change the existing Land Use designation from Mixed Main-Street (12-20+ du/ac) to Mixed-Use Neighborhood Village (12-20 du/ac). The focus of this change is a decrease in intensity that provides for suitable context with the surrounding developments. The second request is a Rezone (Item 4R) to change the zoning for the site from General Agricultural (AG) to The Shoppes and The Cove at Camino-A-Lago Planned Area Development (PAD). The proposed standards within the PAD seek to provide for a commercial component at the hard corner that limits auto oriented uses and provides for vehicular and pedestrian connectivity to the residential component of the development. The residential component of the development will allow for a maximum of 105 single-family residential lots with a minimum lot size of 2,900 square feet.

The proposal contemplates a centralized thematic arrival node that will allow for ingress / egress and distribution from all adjacent rights-of-way (Lake Pleasant Parkway, Deer Valley Road, and Speckled Gecko Drive) into and out of the development. Pedestrian and vehicular access points into the commercial and residential components of the development are intended to provide easy access and cohesive ties throughout the site.

**DEVELOPMENT INFORMATION:**

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<u>Existing Use:</u>	Vacant
<u>Proposed Use</u>	105-lot detached single-family residential subdivision
<u>Property Size:</u>	Approximately 24.2 acres
<u>Existing General Plan Designations:</u>	Mixed Use Main Street (12 – 20+ du/ac)

<u>Proposed General Plan Designation:</u>	Mixed Use Neighborhood Village (12 – 20 du/ac)
<u>Existing Zoning:</u>	General Agricultural (AG)
<u>Proposed Zoning:</u>	Planned Area Development (PAD)
<u>Existing Minimum Residential Lot Size:</u>	87,120 square feet (2-acres)
<u>Proposed Minimum Residential Lot Size:</u>	2,900 square feet
<u>Density Proposed:</u>	Approximately 4.4 dwelling units per acre

## ***STAFF ANALYSIS***

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### **SITE HISTORY**

The site was annexed into the City in September of 1981 in accordance with Ordinance No. 81-53. Upon annexation, the subject site was provided with the initial zoning designation of General Agricultural (AG). AG zoning often functions as a holding district until such time as a parcel is ready or available for further entitlement and development. In this case, the Arizona State Land Department, acting as the owner, did not choose to make the site available for auction and future development until April of 2025.

The Arizona State Trust Land portfolio of holdings exceeds 9.2 million acres statewide. Often, there are misconceptions that State Trust Lands are “open space.” Rather, the Arizona State Land Department (ASLD), as the fiduciary for the Trust, has the responsibility to manage the assets of the perpetual trust to the benefit of thirteen (13) underlying beneficiaries, the largest of which is Common Schools (K-12 education). ASLD leases and sells lands at public auctions for the benefit of the Trust when it feels a site has reached its pinnacle value. On April 10, 2025, the Arizona State Land Department conducted a public auction for the overall 24.2-acre site. The applicant was the successful bidder.

### **GENERAL PLAN LAND USE ANALYSIS**

The proposed land use change would adjust the designation from *Mixed-Use Main Street* to *Mixed-Use Neighborhood Village*. Though they are both mixed-use designations, there are differences in the intended form and intensity of the two land use classifications.

The *Mixed-Use Main Street* designation is typically characterized by first floor commercial with residential or office above. While the proposed development pattern does fit some aspects of the stated functions of the *Mixed-Use Main Street* designation with respect to the infill nature of the site, as well as the integration of the two use components (commercial and single-family), the proposed development does not carry forward the intensity of the idealized vertical mixed-use integration typically contemplated by the *Mixed-Use Main Street* designation. Moreover, the limited size, visibility and access constraints of the site are not suitable for facilitating the scale, draw, and functionality of a “Kierland Commons” or “Park West” type of development, which are much larger with more advantageous access/visibility.

Though the *Mixed-Use Main Street* designation contemplates 12-20+ dwelling units per acre, the category more so focuses on the form of the proposed project and intends a development pattern that is pedestrian centric with narrowed street widths and an abundance of pedestrian plazas. The proposed change to *Mixed-Use Neighborhood Village* provides a development character that facilitates a transition from the existing single-family residential to the north and east. *Mixed-Use Neighborhood Village* also provides a continuation of the existing land use designation to the south of Deer Valley Road. The form of the proposed development and the

context of the existing surrounding development also better align with the intent of the *Mixed-Use Neighborhood Village*, by providing a density below the range as an appropriate transition per the intent of the category. The intent of the category indicates that it “may be appropriate when used as a transition with adjacent lower intensity residential neighborhoods”. The proposed development seeks an overall density of 4.4 dwelling units per acre (or 6.5 du/ac when accounting for just the residential acreage). The existing portions of The Meadows community to the north and east contain densities of 3.68 and 3.52 dwelling units per acre respectively (**Exhibit 3**).

## **GENERAL PLAN GOALS AND POLICIES**

As part of the General Plan analysis, Staff identified relevant General Plan goals and policies that are most pertinent to the proposal with staff analysis in *italics* based on the goal or policy:

### **SMART GROWTH GOALS**

**1. Balanced Land Uses:** Promote a balanced mix of land uses that support a broad range of housing and lifestyle choices, business and employment opportunities and cultural and entertainment spaces.

*The proposed change provides a transition from the existing single family to a higher intensity commercial disposition along Lake Pleasant Parkway in order to provide functional proximity to goods and services for the surrounding residents.*

**5. Complete Neighborhoods:** Offer a range of neighborhoods that offer distinctive, special places to live that are safe and well served by community amenities and gathering spaces.

*The proposed land use change allows for the natural transition from the adjacent Suburban Residential Land Use (5-12 du/ac) and accommodates a development form that is not currently present within the immediately adjacent Meadows subdivision. That density is present across Lake Pleasant Parkway to the west and shows intentional development patterns and thoughtful transition in placing increasing intensity towards the signalized intersection.*

### **POLICIES**

#### **Balanced Land Uses**

Policy LUC-4: Encourage infill and redevelopment opportunities that place residential, work, and retail land uses in proximity to each other to maximize walking, bicycling and transit opportunities.

*The proposal will provide for the development of the only remaining infill parcel at the intersection. This infill parcel as proposed provides for connectivity with the surrounding developments and an internally centralized vehicle and pedestrian network to ensure compatibility between the two components of the use (residential and commercial).*

#### **Complete Neighborhoods**

Policy CN-3: Protect the pattern and character of existing neighborhoods by requiring new infill developments to have complimentary building forms and site features.

*The proposed land use change will create a natural progression in land use intensity towards the intersection. The context-sensitive design strategies within the conceptual development plan will provide an appropriate transition that is reflective of the existing development patterns and the character of established communities in the area.*

It should be noted that the applicant's analysis of the General Plan's goals and policies for their proposed General Plan Amendment is incorporated as part of the application narrative (**Exhibit 5**).

In looking at the totality of the general plan request, staff finds the alteration to Mixed-Use Neighborhood Village is consistent and appropriate given the adjacent land uses, residential densities and development pattern within the immediate surrounding area.

#### **GENERAL PLAN AMENDMENT KEY FINDINGS**

1. The proposed amendment provides a context sensitive transition in intensity from the existing Suburban Ranch to the north and east as development approaches the parkway / arterial intersection; and
2. At 4.4 units per acre, the gross density is well below the 12-20 dwelling units per acre permitted within the Mixed-Use Neighborhood Village land use designation; and
3. The change provides for an appropriate infill development that will advance housing stock and lifestyle options within proximity to goods and services.

#### **REZONE ANALYSIS**

The rezone request seeks to fulfill the proposed General Plan land use designation of *Mixed-Use Neighborhood Village* by providing for both residential and commercial components that will allow for the intensity of the development to increase as it approaches the parkway / arterial intersection. The request will also address boundary conditions with the existing adjacent developments. As currently proposed, the commercial component would occupy the western one-third of the subject site while the balance of the remaining two-thirds would house the residential component.

As identified previously, the commercial component of the development provides for the goods and services fronting on the major roadway intersection while providing direct vehicular, and pedestrian connectivity to the residential component. The commercial component also seeks to limit the auto-oriented uses within the site to further the mixed-use objective of the General Plan designation. This limitation is accomplished within the proposed Standards and Guidelines Report by preventing a dominant footprint of auto oriented uses; with the exception of two (2) drive through uses (**Exhibit 6**). The drive through uses are further limited by the caveat that one (1) of the two (2) drive through uses must be a part of one of the following: a multi-tenant building, bank, or pharmacy. The intention behind this is to limit the stand-alone nature and auto dominance of drive through only buildings, limiting the impact on what will end up being a smaller scale commercial center.

The residential component of the development allows a maximum of 105 single family residential lots. Within the standards for the residential component there are tailored criteria to facilitate the proposed development form. These modifications include things like minimum lot size, setbacks, lot coverage, etc. as identified within the table below with the changes bolded in italics.

Development Standard	Single Family R1-6	Proposed PAD
<b>Min Lot Area</b> ( <i>Square Feet</i> )	6,000	<b>2,900</b>
<b>Min Lot Width</b> ( <i>Feet</i> )	50	<b>30</b>
<b>Min Lot Depth</b> ( <i>Feet</i> )	100	<b>97</b>
<b>Max Lot Coverage</b>	45%	<b>50%</b>
<b>Max Building Height</b> ( <i>Feet</i> )	30	30
<b>Front Setback – Opposite Garage</b> ( <i>Feet</i> )	10	<b>8</b>
<b>Side Setback – Min/Total</b> ( <i>Feet</i> )	5/13	<b>5/10</b>
<b>Rear Setback – Garage Face</b> ( <i>Feet</i> )	15	<b>20</b>
<b>Corner Setback</b> ( <i>Feet</i> )	10	10

Similar to the alley-loaded homes abutting the intersection to the west, this residential configuration seeks to utilize an alley loaded residential development form that would allow for an intensity transition away from the commercial component to the west and the existing single family residential to the east. The proposal does modify many of the development standards when compared to the City of Peoria’s Single Family Residential (R1-6) Zoning District as summarized within the prior table. To create the transition in density, the lot sizes are smaller than the adjacent neighborhood to the east; however, they are in keeping with the alley loaded homes on the west side of Lake Pleasant Parkway. The other modifications, such as setbacks, account for the difference in development form. Alley loaded homes face one another, rather than a street, and provide garages at the back of the house. As a result, the proposed setbacks are reflective of that functional difference.

**AMENITIES AND OPEN SPACE**

Based on City standards, traditionally commercial developments would not require open space or amenities within their development plan. Conversely, single-family residential developments would only be required to provide 10% activated / useable open space within their development plan. Further, those usable open space areas within single family residential developments do not have a specification as to the level of amenities that are to be provided in order to meet the requirement for useable open space.

As proposed, this development seeks to have the development components work together to provide for shaded connectivity between the two components, and in turn provides a minimum of 15% usable open space within the residential portion of the development. This increased level of common open space allows residents of the development to utilize shared spaces and amenities, thus offsetting the smaller than traditional ‘lot size’ and increased ‘lot coverage’ percentage. The standards within the PAD go on to call for a minimum of a primary amenity with both a pool and a tot lot, as well as a secondary central amenity area with turf and a ramada.

**TRAFFIC**

Access is one of the primary points of evaluation when looking at the land use and development for a site. Given the scale and scope of developments such as this, a Traffic Impact Analysis (TIA) is required to be submitted and evaluated by City staff. As a part of that evaluation, staff reviews the levels of service, traffic modeling, and the City’s access management requirements. These elements have the ability to determine and shape what site access can look like, and what it needs to be limited to. For example, the intersection of Lake Pleasant Parkway and Deer Valley Road is a signalized intersection. As a result, there are access limitations present within proximity to the signalized intersection for the subject development.

To provide access in accordance with City requirements, as determined by evaluation of the Traffic Division, the subject site will have the following access:

- Deer Valley
  - Right-In Right-Out – Shared Commercial & Residential
- Lake Pleasant Parkway
  - Right-In / Right-Out – Commercial
- Speckled Gecko Drive
  - 1<sup>st</sup> Full Access – Shared Commercial & Residential
  - 2<sup>nd</sup> Full Access – Residential

The access allowances identified above would require improvements to the existing public roadways. The improvements to Deer Valley Road would require the installation of a median to limit access and prevent left in or out of the site. This limitation is a result of the proximity to the intersection of Lake Pleasant Parkway and Deer Valley Road, as well as the driveway for Camino-A-Lago Marketplace to the south. For utilization of the Speckled Gecko access as shown, the site would be required to make median improvements within the existing Lake Pleasant Parkway median to allow southbound to eastbound left turns from Lake Pleasant Parkway on to Speckled Gecko Drive. Additional traffic calming measures for Speckled Gecko Drive will require improvements that include a 'traffic football' which is intended to reduce speeds and prevent long stretches of straight aways.

#### **WATER/SEWER**

Water and sewer facilities exist adjacent to the site and have available capacity to serve the property.

#### **PUBLIC SAFETY**

There are no inordinate impacts to public safety anticipated from this infill development proposal.

#### **COMMUNITY INVOLVEMENT**

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##### **PUBLIC NOTICE**

The application was properly noticed pursuant to Section 21-146 of the Peoria Zoning Ordinance, which includes notification to all property owners within 600 feet of the site and registered HOAs within one (1) mile, posting of a sign on the site, and placing an ad in the Peoria Times at least 15 days prior to the Public Hearing.

##### **OUTREACH REQUIREMENTS**

The General Plan and Rezoning process requires that the applicant hold a neighborhood meeting. In accordance with Section 21-146 of the City Code, the applicant was required to notify all properties owners within a 600-foot radius of the site and all registered HOA's within one-mile. The neighborhood meeting was held on October 15, 2025, at 5:30pm at Sunrise Mountain Library located at 21109 N. 98<sup>th</sup> Avenue.

The neighborhood meeting was attended by twelve (12) residents, in addition to the applicant team, and City staff. The meeting was held in an open house format to allow questions and comments from citizens at the various stations. A summary of the questions and comments received during the meeting are outlined in the Citizen Participation Report in **Exhibit 7**.

In general, the questions and comments received were related to topics such as lot size, traffic, property values, school capacity, a request to utilize the site exclusively for commercial, another request to utilize the site exclusively for residential, and a request to match the Meadows. During the meeting there was also an opportunity for residents to provide comment cards. Those comment cards indicated the following positions and reasoning:

- Opposition Due to:
  - Lot Size
  - Commercial Uses: Carwash, Drive-Through Restaurant, Smokeshop, Gas Station
  - Traffic
  - Maximum of 50% residential
  - Crime
  - Property Value
  - School Capacity

### **OVERALL DESIGN SOLUTIONS**

In evaluating any entitlement request, City staff seeks to provide feedback to applicants that aligns with typical City practices, standards, and policies while addressing comments and concerns from the public to the extent possible. The following elements of the case seek to address comments that have been received and align with the intent of the *Mixed-Use Neighborhood Village* land use designation as well as the context of the area.

- The proposed lot sizes align with the alley loaded residential to the west across Lake Pleasant Parkway within Casa Del Rey. The proposed lot sizes also function as a density / intensity transition as development approaches the intersection.
- The PAD refers to Intermediate Commercial (C-2) uses; however, it does prohibit uses within the Automobile Related Uses category within the Zoning Ordinance. The purpose of this prohibition is to reduce the auto-centric nature of what is intended to be a mixed-use development.
  - Prohibits Carwashes & Gas Stations
  - Limits Drive-Throughs to one (1) stand alone and one (1) as a part of a multi-tenant building, bank, or pharmacy
- The access for the site represents pedestrian and vehicular connectivity between the commercial and residential components of the development while meeting the City's access management guidelines.
- The development mix provides for commercial viability while integrating residential units that will serve as a transition between the proposed commercial and the existing residential.

Zoning cases often receive comments that are outside of the purview of the City or are based on subjective opinions that the City cannot factor into a case evaluation and comment. The City reviews land use and zoning cases based on an evaluation of the highest and best use for the property in alignment with the General Plan goals and policies, along with the context of the surrounding area. Subjective perceptions of impacts to property value, or crime based on lot size and housing type cannot factor into the objective evaluation of land use.

### **SUPPORT/OPPOSITION**

At the time of this report, the city received one (1) letter of opposition, and one (1) letter of support. Additional correspondence was received from four (4) individuals related to comments, questions, or input for the proposed development, but did not state a position based on the development. The comments and questions focused on the development form, use allowances for the site, and seeking compliance with the mixed-use intent of the project.

### **SCHOOL DISTRICT INFORMATION**

This property is located within the Peoria Unified School District (PUSD). PUSD has been provided with information regarding the proposal and an opportunity to comment on the project. The applicant has identified that they have reached out to the school district regarding the proposal and they have not yet heard back. No

comments have been received from the School District to date. Students generated from this project would attend Sunset Heights Elementary and Liberty High School, respectively.

### **PROPOSITION 207**

The voters of Arizona approved Proposition 207, which among other things requires municipalities to compensate property owners for actions that have the effect of diminishing the value of property. The City Attorney's Office has drafted an agreement that waives the applicant's rights to future Proposition 207 claims against the City. Accordingly, the applicant has furnished a signed and notarized Proposition 207 Waiver.

### **KEY FINDINGS**

1. The proposed zoning district is in conformance with the goals and objectives set forth in the Peoria General Plan;
2. At 4.4 du/ac, the PAD is below the density permitted by the Mixed-Use Neighborhood Village (12-20 du/ac) General Plan land use designation;
3. The development proposal provides for a transition in intensity from existing lower density residential areas to higher intensity commercial land uses at the intersection;
4. This rezoning request will result in a mixed-use development that is compatible with the existing adjacent neighborhood(s);
5. The rezoning request is reflective of a development pattern that exists within the immediate area and continues context sensitive development patterns; and
6. The applicant/owner has submitted a signed and notarized Proposition 207 waiver, which will be recorded with the Conditions of Approval (**Exhibit 1**).

### **POSSIBLE RECOMMENDATION ACTIONS / OPTIONS**

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- A: Approve as recommended by staff; or
- B: Approve with modifications; or
- C: Deny; or
- D: Continue action to a date certain or indefinitely.

### **RECOMMENDATION**

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Staff recommend that the Planning and Zoning Commission take the following actions:

- 1) **Recommend APPROVAL of General Plan Amendment GPA25-06 to the City Council.**
- 2) **Recommend APPROVAL of Zoning Case Z25-12 to the City Council.**

### **STAFF CONTACT**

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## Conditions of Approval | Exhibit 1

### THE SHOPPES AND THE COVE AT CAMINO-A-LAGO (Z25-12)

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The rezoning request for the above-mentioned property is subject to the following Conditions of Approval to protect the public health, safety, and welfare of the City of Peoria:

1. The development shall substantially conform to The Shoppes and The Cove at Camino-A-Lago Planned Area Development (PAD) Standards and Guidelines Report (Exhibit 6) and associated Narrative (Exhibit 5) as contained in the staff report to the Planning and Zoning Commission dated February 19, 2026, except as modified below.
  2. A revised Traffic Impact Analysis (TIA) containing the approved pre-plat must be included in the first construction document submittal.
  3. Vehicular access to Deer Valley Road shall be limited to right-in ingress and right-out egress.
  4. The Developer will be responsible for the design and construction of the following improvements unless otherwise approved by the City Engineer:
    - a. A westbound right turn lane at the intersection of Lake Pleasant Parkway and Deer Valley Road. This right turn lane must be accomplished by moving the vertical curb on the northeast corner of Lake Pleasant Parkway and Deer Valley Road and including a taper length and storage length meeting or exceeding recommendations from the revised TIA and the City of Peoria Traffic Impact Analysis and Access Management Standards.
    - b. Any subsequent modifications necessary at the intersection of Lake Pleasant Parkway and Deer Valley Road to accommodate the required westbound right turn lane, including but not limited to, American Disability Act (ADA) and traffic signal modifications.
    - c. A raised median on Deer Valley Road from Lake Pleasant Parkway to the Deer Valley Road driveway limiting access to the Deer Valley Road driveway to right-in/right-out access while maintaining the current level of access for all Walmart driveways on the south side of Deer Valley Road.
    - d. A “football” traffic calming device on Speckled Geck Drive between Lake Pleasant Parkway and 101st Avenue.
  5. The Developer shall comply with all City of Peoria engineering design standards, policies, codes and requirements at time of development and final engineering submittal.
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# Vicinity Map | Exhibit 2

The Shoppes and the Cove at Camino a Lago (GPA25-06, Z25-12)







# Zoning | Exhibit 4

The Shoppes and the Cove at Camino a Lago (GPA25-06, Z25-12)



# THE SHOPPES & THE COVE AT CAMINO Á LAGO

## PROJECT JUSTIFICATION NARRATIVE

Z25-12

1ST SUBMITTAL: JULY, 2025

2ND SUBMITTAL: NOVEMBER, 2025



PRESENTED BY:



**LENNAR**<sup>®</sup>

**Kimley»Horn**

**ROSE LAW GROUP<sub>pc</sub>**  
RICH ■ CARTER ■ FISHER

# APPLICANT TEAM

## APPLICANT

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## LAND PLANNING

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## ENGINEER

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# 1. REQUEST

## What type of development and uses are proposed by the rezoning request?

Lennar Homes won the state land auction for the vacant 24.2 gross-acre site on the northeast corner of Lake Pleasant Parkway and Deer Valley Road. Lennar has partnered with a reputable and local commercial developer to bring the city’s vision of “Mixed Use” on this important corner to fruition.

The Applicant team is requesting a rezoning on this property from 24.2 gross-acres of Agriculture (AG) to Planned Area Development (PAD) to allow to the development of “The Shoppes and The Cove at Camino á Lago”. The proposed project is a horizontally integrated mixed-use development with +/-16.2 gross acre of single-family residential and +/-8.0 gross acres of community commercial fronting Lake Pleasant Parkway. In the residential component, 105 alley loaded single-family units are being proposed with functional open spaces and ample pedestrian connectivity to promote the walkability between the mix of uses.

# 2. SITE LOCATION AND CONTEXT

## Discuss your proposal’s compatibility with the surrounding land use and zoning patterns. Include a list of surrounding zoning designations, land uses and conditions.

The site is currently zoned as AG and has maintained this zoning since being annexed into the City. In 1997 it was included in the 1,352-acre Camino á Lago Specific Plan and designated for commercial development. To the north and east of the site is The Meadows, a single-family residential neighborhood zoned Planned Community District (PCD). The site is separated from The Meadows by Speckled Gecko Drive to the north, and a +/-80’ wide drainage tract to the east. South of the site, across Deer Valley Road is the Camino á Lago Marketplace, a 60-acre commercial development anchored by Walmart surrounded by many commercial pad sites. West across Lake Pleasant Parkway is the medium-density auto-court portion of the Casa Del Rey at Camino á Lago residential development, zoned PAD.

Since the subject site is surrounded on three sides by single-family residential communities and a large 60-

	USE	ZONING	GENERAL PLAN DESIGNATION
North	The Meadows	PCD	Suburban Residential
East	The Meadows	PCD	Suburban Residential
South	Camino á Lago Marketplace	PAD	Mixed Use Neighborhood Village Center
West	Casa Del Ray at Camino a Lago	PAD	Suburban Residential

acre commercial property on the south side of Deer Valley Road, the context and potentially impacts were taken into consideration. The Cove at Camino á Lago (the residential component), is approximately 16.2 gross-acres located adjacent to the existing single-family neighborhoods to the north and east and is to be developed as a new, for-sale alley loaded housing product. Lennar has been extremely successful with this particular product in other areas around the Valley specifically in Peoria’s Vistanica community. The Cove will have a gross density of 6.5 dwelling units per acre which will act as the perfect buffer for the existing homes to the east and the neighborhood commercial uses along Lake Pleasant Parkway. As mentioned, The Shoppes at Camino á Lago is approximately 8.0 gross acres located along the west edge of the property fronting Lake Pleasant Parkway and is designed for commercial uses. The development will contribute towards desirable transition of intensity and density while providing a buffer along the shared edges of the property for the existing single-family The Meadows and Camino á Lago communities. Positioning the commercial uses along Lake Pleasant Parkway and further away from the existing homes mitigates potential noise impacts associated with commercial uses (ie deliveries, refuse) while still providing services within a walkable radius.

**Provide general site information and describe unusual physical features or characteristics of the site which present opportunities or constraints for development.**

The project site is currently undeveloped desert land that was previously owned by Arizona State Land Department. It gently slopes to the southwest, with an existing drainage channel within the Lake Pleasant Parkway right-of-way, and a temporary drainage easement adjacent to the Deer Valley Road right-of-way along the property’s southern edge. To the north, Speckled Gecko Drive is currently built with half-street improvements that will require the subject development proposal to complete with additional pavement, curb and gutter, and sidewalk improvements. The Site has existing conditions that present challenges to the viability and intensity of uses of commercial developments, including the size of this infill parcel, site access constraints, dedicated retention area fronting Lake Pleasant Parkway, single-family residential uses abutting three of the Property’s boundaries, and shifting market demands. The physical characteristics in addition to the shift in market location for high intense commercial development make it extremely difficult to develop this site under the existing Mixed Use Main Street land use category. Commercial uses have been pushed up the road to the Lake Pleasant Parkway and Happy Valley intersection and the demand/need for 24.2 gross acres of commercial is no longer valid. This can be evidenced by the vacant pads in the Marketplace immediately south of this site. The proposed project right sizes the commercial and locates it along Lake Pleasant Parkway which makes good planning sense and can be justified by the Applicant team and their market analysis.

### 3. CONFORMANCE WITH THE GENERAL PLAN

**State how your proposal is consistent with the Land Use Plan and other goals, policies and objectives (list each goal, policy and objective and how they are met) of the Peoria General Plan.**

The Peoria General Plan Land Use Map currently designates the property as “Mixed Use Main Street”, a high intensity land use intended for densities in excess of 12-20 du/ac multi-story residential with ground floor commercial uses as often seen in a downtown or urban setting. Concurrent with this rezoning application, a companion Minor General Plan Amendment is requesting to amend the Land Use Designation Map from Mixed Use Main Street to Mixed Use Neighborhood Village Center to align with the rezoning proposal as well as align with current market demands both residential and commercial. The proposed development is consistent with many of the Peoria 2040 General Plan goals as outlined below:

GENERAL PLAN ELEMENTS	GENERAL PLAN POLICIES & GOALS	CONSISTENCY WITH GENERAL PLAN
<b>SMART GROWTH – 3.8 GOALS &amp; POLICIES</b>		
<b>Growth &amp; Sustainable Development</b>	<b>GS-2</b> Direct dwelling unit density, and employment growth toward infill development sites within the city, especially catalyst and opportunity sites identified within Economic Development related strategic plans or programs.	<b>Analysis:</b> This request will establish opportunities to introduce housing diversification not currently offered in the area. This product type will enhance housing attainment by offering a new type of medium density detached for-sale product.
	<b>GS-7</b> Accommodate land use proposals that target growth in the area of existing or planned infrastructure and services.	<b>Analysis:</b> The subject property will complete and enhance existing roadway and regional drainage infrastructure around the perimeter of the site.
<b>Housing Stock</b>	<b>HS-1</b> Distribute a variety of housing types throughout the City to expand the choices available to meet the financial and lifestyle needs of Peoria’s diverse population.	<b>Analysis:</b> This request will establish opportunities to introduce housing diversification not currently offered in the area. This product type will enhance housing attainment by offering a new medium density detached for-sale product to the area.

Placemaking & Community	<b>PC-4</b> Seek out opportunities to activate passive space through programming or physical placemaking installations that facilitate social interaction.	<b>Analysis:</b> The proposed development plan for the subject property has defined community open space areas that promote neighborhood engagement and are supplemented with a pedestrian network that efficiently link residential uses to the commercial area.
<b>INTEGRATED TRANSPORTATION - 4.5 GOALS &amp; POLICIES</b>		
Goals	<b>Complete Streets:</b> Reconfigure existing roadways into Complete Streets, prioritizing improvements on roadways that provide access to services, schools, parks, civic uses, and mixed-use districts.	<b>Analysis:</b> Interior streets that extend through the commercial area promote the Complete Streets design concept by providing on-street parking, landscaped medians, traffic calming elements, shade trees and sidewalks that are buffered from through traffic areas. The pedestrian network within the residential portions of community are internalized and provide efficient connectivity to on-site and off-site services
	<b>Signature Streets:</b> Provide Signature Streets that identify our City's uniqueness and incorporate placemaking and identity creation.	
On-Street Network	<b>OSN-7</b> Ensure private developments provide cross-access opportunities to prevent isolated unconnected neighborhoods or commercial centers.	<b>Analysis:</b> The pedestrian network depicted on the site plan demonstrates opportunities for cross-access to adjacent neighborhoods, parks, schools and commercial services.
<b>HEALTHY NEIGHBORHOODS - 5.8 GOALS &amp; POLICIES</b>		
Goals	<b>Variety of Housing:</b> A diversity of housing types and prices that are high quality, built in a sustainable manner, and meet the varied housing needs of residents for all stages of life.	<b>Analysis:</b> The planned community will include elements that enhance quality of life by providing quality neighborhood amenities such as parks, community pool, and an integrated pedestrian network of paths and sidewalks to promote walkability between the uses.
Community Wellness	<b>CW-8</b> Advocate for more complete, healthy communities that provide access to a range of daily goods and services, and recreational resources within comfortable walking distance of homes.	<b>Analysis:</b> Opportunities for community commercial services are located within walkable distances to all residential units that allow residents to reduce dependency on vehicular trips and promote healthy lifestyles.
	<b>CW-10</b> Facilitate social interaction and foster a sense of identity and community pride by providing attractive, safe walkways, and linked community gathering spaces.	<b>Analysis:</b> The planned residential community includes amenitized park spaces that are linked by an off-street pedestrian network and includes seating and shading that encourage community gathering and social interaction as well as a community pool with playground equipment.
Neighborhood Preservation	<b>NP-1</b> Protect existing residential areas from incompatible land uses and activities through careful consideration of zoning amendments and enforcement of buffering requirements.	<b>Analysis:</b> This development proposal provides transitional land uses between existing single-family neighborhoods and planned commercial that will buffer existing uses from nuisance noise and light typically associated with commercial uses (ie delivery trucks and refuse pickup)

## 4. REZONING JUSTIFICATION

**Indicate why the current zoning is not appropriate given the surrounding land use, zoning, and factors which have changed since the current zoning was established.**

As the current zoning on the property (AG) is the default zoning that was assigned concurrent with the original annexation, a rezoning at time of development has been anticipated. This rezoning request would position this property to better meet the market demands and trends by providing smaller-scaled commercial opportunities and a different housing product than what has been established within the vicinity. The requested PAD zoning for the property adopts uses found within the City of Peoria's C-2 and R1-6 zoning districts. Select deviations to the development standards for each of these districts are requested to enable the specific uses indicated on the development concept. Additionally, for many years the city's General Plan has identified the future development of this site as Mixed Use Main Street. Recent market trends have moved the desired location for commercial and destination establishments further north on Lake Pleasant Parkway and Happy Valley Road intersection. The Lake Pleasant Parkway and Deer Valley Road intersection area has seen a decreased demand for commercial end users which justifies the companion request to modify the city's General Plan from Mixed Use Main Street to Mixed Use Neighborhood Village. The Neighborhood Village category allows for a right sized amount of commercial in conjunction with a much needed and new housing product in this area of the city.

## 5. PROPOSAL

**Describe any proposed unique design considerations, beyond Zoning Ordinance requirements, which create compatibility between the proposed use and adjoining developments.**

The PAD zoning designation allows for the development of a cohesive, horizontally integrated project. The proposed development offers a true mixed-use project with by combining a rear-loaded single-family detached community with robust pedestrian connectivity to neighborhood commercial uses along Lake Pleasant Parkway. The uses will share access points, shaded sidewalks and seating, lush landscaping, and green open space views while providing an appropriate less intense buffer to the existing neighboring single-family homes. The PAD provides necessary deviations to the R1-6 development standards associated with any of the city's zoning districts to facilitate the development of this new housing community as it has been designed. Additionally, by including the commercial component within the PAD, the applicant is able to manage the design requirements to ensure compatibility and promote an integrated and walkable community for future residents. Such design requirements include the commercial site's entrance will feature enhanced planting to provide visual prominence through the center of the site for pedestrians.

To assist in promoting pedestrian activity between the commercial and residential components of the development, design choices and limitations on permitted uses have been included. Automobile dependent uses have been prohibited from the site, except for the select few identified in the PAD Standards and Guidelines. Additionally, enhanced pedestrian connections and elements will be provided, such as a pedestrian node to be included on the commercial site near the roundabout and widened sidewalks, stamped crosswalks, park benches and shade structures to create synergy between the uses and to enhance the pedestrian experience and create walkability throughout the site.

**Other than the requested rezoning approval, what other approval processes are required to accomplish the development proposal, i.e., variances, site plans, subdivision plats, conditional use permits, comprehensive master plan amendments, State or County licensing or permits, etc.?**

The Cove at Camino á Lago (residential component) will require a Final Plat to create a subdivided parcel for the Project site and dedicate any required easements for utilities, access or conservation features as required. This platting will include the Lake Pleasant Parkway, Deer Valley Road, and Speckled Gecko ROW dedications and improvement, along with all reports and preliminary/master plans associated with water, sewer, or drainage will be provided and reviewed as part of the preliminary plat application, not with this zoning application.

The Shoppes at Camino á Lago (commercial component), and is intended to be developed as a single parcel. The single commercial parcel will require a site plan review at the time of development. Site plans depicting this commercial parcel are included as part of this submittal are conceptual in nature and are intended to be illustrative in nature. Since the occupants of the commercial site have not been identified, the design of the commercial pad sites may vary from what has been depicted on the rezoning site plans in the formal site plan review submittal.

# THE SHOPPES & THE COVE AT CAMINO Á LAGO

## PAD STANDARDS AND GUIDELINES REPORT

Z25-12

1ST SUBMITTAL: AUGUST, 2025

2ND SUBMITTAL: NOVEMBER, 2025

FINAL SUBMITTAL: FEBRUARY, 2026



PRESENTED BY:



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**Kimley»Horn**

**ROSE LAW GROUP<sub>pc</sub>**  
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# 1. INTRODUCTION

RVi Planning + Landscape Architecture, on behalf of Lennar and the Barclay Group, in conjunction with Rose Law Group, is pleased to present The Shoppes and The Cove at Camino á Lago on an approximately 24.2-acre property located at the NEC of Deer Valley Road and Lake Pleasant Parkway.

See **Exhibit 1: Existing and Proposed General Plan Land Use Map and Exhibit 2: Existing and Proposed Zoning Map.**

## Legal Description of Property and Parcels

The Project consists of a 24.2 gross acre property. See **Appendix A: Legal Description.**

# 2. PRELIMINARY DEVELOPMENT PLAN

The Preliminary Development Plan intends for The Shoppes and The Cove at Camino á Lago to provide a horizontal mixed use development plan that is compatible with today's market demands, aligns with long range goals established in the General Plan, and fits the context of the surrounding development while adding new housing options to this established area. As mentioned, the Project provides a mixed-use design offering both commercial and residential components, as shown on **Exhibit 3: Development Components.** The Site integrates a horizontal mix of uses, with planned vehicular and pedestrian connections intertwining the two, promoting walkability for existing and future residents and providing the right sized amount of neighborhood commercial to the area.

Unless otherwise specified herein all development shall comply with the applicable City of Peoria regulations relevant to the specified development component.

## The Shoppes at Camino á Lago (Commercial Component)

The development plan along Lake Pleasant Parkway dedicated for neighborhood commercial uses and is displayed as approximately +/- 8.0 gross acres of commercial pad sites for The Shoppes at Camino á Lago. A 'main street' arrival from Lake Pleasant Parkway will bring patrons into the site with beautiful landscaping with parking and several pedestrian crossings between the commercial and residential components. The main street will facilitate smooth vehicular flows by circulating patrons throughout the site with a roundabout connecting access to Deer Valley and Speckled Gecko Roads. The roundabout will also have colored stamped concrete to offer safe passage for pedestrian patrons through and around the site. This infrastructure will be developed with the first phase of either component of the development. See **Exhibit 4: Conceptual Development Plan.**

## The Cove at Camino á Lago (Single Family Residential Component)

Approximately 16.2 gross acres on the eastern portion of the site is proposed to be developed as a maximum 105 single family lot, for-sale, alley loaded residential development called The Cove at Camino á Lago. These residences are designed as a two-story rear-loaded single-family detached homes, built at a density of approximately 6.5 du/ac which offers an appropriate buffer to the existing homes in The Meadows community. See **Exhibit 5: Alley Lot Diagram.** The pedestrian open space corridors will connect the new homes to the commercial area along Lake Pleasant Parkway and extend throughout the community, connecting to the neighborhood's primary amenity, usable open space areas, and all perimeter streets, as shown in **Exhibit 6: Conceptual Pedestrian Circulation Plan.** In addition to driveways and garages that are provided with each residence, ample guest parking stalls will be dispersed evenly throughout the residential component.

## Project Phasing and Development Schedule

The Site will be developed in 2 phases; an Initial Master Development Phase and Future Commercial Development Phase. See **Exhibit 7: Phasing Plan**.

The Initial Master Development Phase will include all on and off-sites for the Residential Component, and all off-sites (including ROW landscaping and drainage crossing) for the Commercial Component. The Initial Master Development Phase will also include the north-south internal drive and roundabout, along with associated parking, drainage, landscaping and sidewalks abutting the north-south drive.

The Future Commercial Development Phase will be contained internal to the Commercial Component and will include completion of the east-west drive connection from Lake Pleasant Parkway to the roundabout by the central park amenity.

## 3. PERMITTED & RESTRICTED USES

The Shoppes and The Cove at Camino á Lago is designed as a horizontal mixed-use project with two distinct components, The Shoppes at Camino á Lago (the Commercial Component) and The Cove at Camino á Lago (the Residential Component). The following subsection will provide guidance on the applicable use regulations for each component.

### The Shoppes at Camino á Lago (Commercial Component)

All uses and limitations shall be in alignment with those identified within the Intermediate Commercial C-2 Zoning District as identified within the City of Peoria Zoning Ordinance unless otherwise specified herein.

#### 1. Drive-Through Use Limitations:

- A maximum of two (2) drive through or drive up uses, which includes a maximum of 1 freestanding drive-through establishment, and a maximum of 1 drive through use as a part of either a multi-tenant building, bank, or pharmacy.

#### 2. Prohibited Uses

The following uses shall be prohibited within the subject PAD:

- Bus terminals
- Pawn shop
- Tattoo studio
- Marijuana dispensaries
- Any business defined as “Adult Uses” by the City of Peoria
- Tobacco and/or Vape Retailer
- A blood/plasma donor facility
- Billiard halls, except as accessory use to the primary restaurant use
- Carnivals, amusement parks or circus operations, except as a temporary use through a Temporary Use Permit.
- All uses listed under the ‘Automobile Related’ uses category as listed in Table 21-503 Land Use Matrix of the City of Peoria Zoning Ordinance except:
  - Auto Parts and Accessory Store

### The Cove at Camino á Lago (Residential Component)

All uses and limitations shall be in alignment with those identified within the Single Family Residential R1-6 Zoning District as identified within the City of Peoria Zoning Ordinance unless otherwise specified herein.

## 4. PROJECT DEVELOPMENT STANDARDS

All applicable development standards shall be in alignment with those identified within the relevant City of Peoria regulations for the relevant use or zoning district, unless otherwise specifically modified herein.

### The Shoppes at Camino á Lago Development Standards (Commercial Component)

The Development Standards for The Shoppes at Camino á Lago shall conform to all applicable development standards for commercial development identified for the C-2 Zoning District within the City of Peoria Zoning Ordinance and all other applicable regulatory documents, except as modified herein.

### The Cove at Camino á Lago Development Standards (Residential Component)

The development standards for The Cove at Camino á Lago shall conform to the development standards identified for the R1-6 Zoning District within the City of Peoria Zoning Ordinance, except as modified herein.

COMMERCIAL DEVELOPMENT STANDARDS	MODIFIED C-2
Minimum Lot/Site Area (Acres)	N/R
Minimum Lot Width	N/R
Minimum Lot/Site Depth (Feet)	N/R
Minimum Frontage on One Arterial (Feet)	N/R
Maximum Lot Coverage (percentage)	N/R
Maximum Building Height (Feet)	48 feet
Deer Valley Road Setback (Feet)	15 feet
Lake Pleasant Parkway Setback (Feet)	15 feet
Speckled Gecko Drive Setback (Feet)	15 feet
Interior Rear/Side Setback (Feet)	N/R
Setback from Residential Zones (Feet)	30 feet

RESIDENTIAL DEVELOPMENT STANDARDS	MODIFIED SINGLE-FAMILY
Min Lot Area (Square Feet)	2,900
Lot Width (Feet)	30
Lot Depth (Feet)	97
Lot Coverage	50%
Max Height (Feet)	30
<b>SETBACKS</b>	
Rear - Garage Face (Feet)	20
Side Min/Total (Feet)	5/10
Front - Opposite Garage (Feet)	8
Corner Setback (Feet)	10

## Supplemental Regulations

### a. Parking

#### i. Commercial Component

1. Parking and loading requirements for the commercial uses shall be provided in accordance with the City of Peoria Zoning Ordinance except as modified herein.
  - a. The minimum parking ratio for all commercial uses will be 1 space per 200 SF of floor area.
  - b. Outdoor dining areas of 200 square feet or less will not require additional parking.

#### ii. Residential Component

1. Parking and loading requirements for the residential uses shall be provided in accordance with Section 21-900 of the Peoria Zoning Ordinance for Single-Family Without On-Street Parking (3.0 spaces/unit).
  - a. In addition, 1 guest parking space per 4 units shall be provided throughout the Residential Component.

### b. Open Space Requirements

The open space requirements for the development shall be in compliance with the applicable City of Peoria regulations for Intermediate Commercial C-2 for the Commercial Component and for R1-6 for the Residential Component, except as modified herein:

#### i. Commercial Component

1. The commercial component shall contain a pedestrian focused open space connected by a minimum 6-foot stamped and integrally colored concrete path at the roundabout.

#### ii. Residential Component

1. The residential component's active open spaces shall be in general conformance with **Exhibit 4: Conceptual Site Plan**, which illustrates a primary amenity that includes both a pool and a tot lot, and a secondary central park amenity with an active turf area and ramada, both of which are connected by a 6-foot shaded path.



2. The minimum amount of active/useable open space for the residential component is 15.5%.

### c. Lighting

All on-site lighting shall comply with applicable City of Peoria regulations.

### d. Screening, Fencing and Walls

All screening, fencing, and walls shall conform to the City of Peoria Zoning Ordinance except as modified below:

- i. Materials: Theme walls shall be integral color or painted block to match the neighboring community The Meadows and Camino á Lago. See **Exhibit 8: Walls Plan and Exhibits 9A & 9B: Walls & Monumentation**.
- ii. Wall Heights: Screen walls within the front yard of all homes abutting Speckled Gecko Drive shall be permitted up to a maximum of 6 feet in height so long as the top 3 feet of the wall is view fencing.

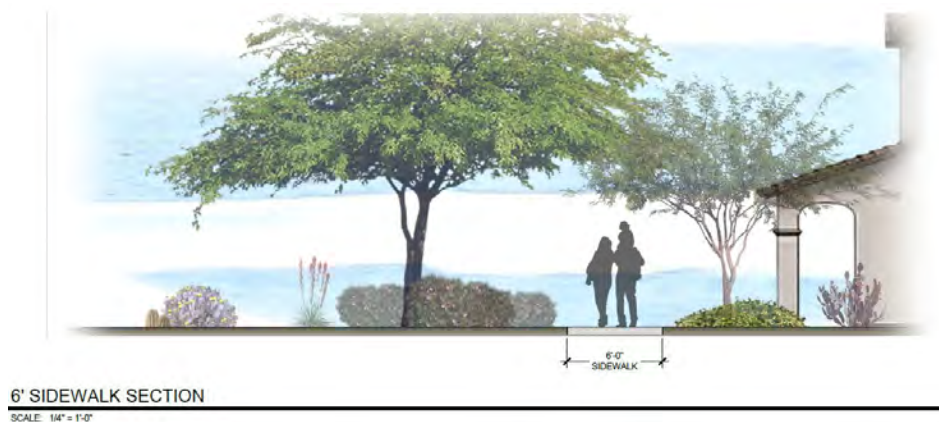
**e. Enhanced Design Review Standards**

The site will be developed in accordance with the City of Peoria Community Design Guidelines except as modified herein:

The residential and commercial components of the subject development shall contain thematic ties throughout the development that provide for a cohesive visual design.

The commercial component of the development shall utilize building placement to frame the corner of the intersection and provide pedestrian access and building design towards the street. The entrance into the commercial site will feature enhanced planting to provide visual prominence through the center of the site for pedestrians. A pedestrian landing area will be included on the commercial site near the roundabout for enhanced pedestrian experience throughout the site.

There shall be a thematic connection points between the residential and commercial components of the development with a shade structure or the utilization of building architecture to provide a pedestrian area along the pedestrian pathway for each component of the development.



**5. PROJECT SIGNAGE STANDARDS**

Signage shall conform to the City of Peoria Zoning Ordinance, unless otherwise noted herein:

No illuminated signage immediately adjacent to Speckled Gecko Drive shall be permitted.

**Freestanding Monument Signs**

	MAX QUANTITY	MAX HEIGHT (FEET)	MAX SIGN AREA (SQ FT)
Primary Commercial Monument	1, at the Corner of Lake Pleasant Parkway and Deer Valley Road	11.5	130
Primary Residential Monument	1, along Deer Valley Road	8	35
Secondary Commercial Monument	1, along Lake Pleasant Parkway	16	74
Secondary Residential Monument	2, along Speckled Gecko Drive	7.5	21
Tertiary Commercial Monument	2, one along Deer Valley Road and one at the corner of Lake Pleasant Parkway and Speckled Gecko Drive	8	32

## 6. PROJECT LANDSCAPING STANDARDS

All landscaping standards shall conform to the City of Peoria Zoning Ordinance except as follows:

- Right-of-Way Landscaping for the commercial component shall be provided with first phase of development (residential or commercial).
- Street Frontage Landscaping width minimum shall be a total of 15 feet for the Lake Pleasant Parkway street frontage.

## 7. INFRASTRUCTURE / UTILITIES

### **Grading / Drainage / Retention**

The site is not affected by offsite flows and is bound on the south by a minor drainage channel and on the east and west by large drainage channels. There are currently curb inlets in Deer Valley Road that capture the stormwater flows from the northern half-streets and deposits them into these drainage channels. The southern half-street of Speckled Gecko Drive will be captured and retained onsite.

A preliminary Drainage Master Plan will be provided with the preliminary plat and site plan applications. The overall drainage design will be in conformance with the Master Drainage Plan for the development, to be reviewed as part of the preliminary plat and site plan applications.

### **Water**

As an incorporated area within the City of Peoria, the site will utilize municipal potable water and wastewater. Adequate water and wastewater lines are available immediately adjacent to the site.

The water supply resources for the development are based on 105 residential dwelling units and 8.0 acres of commercial development.

The proposed water system will connect to existing public water mains with sufficient capacity located on Deer Valley Road, Lake Pleasant Parkway, and Speckled Gecko Dr.

### **Wastewater**

The sewer system will connect to existing public sewer mains with sufficient capacity located on Deer Valley Road and Lake Pleasant Parkway. Any associated reports and preliminary/master plans will be provided and reviewed as part of the preliminary plat and site plan applications.

### **Electric Power**

The Shoppes and The Cove at Camino á Lago is located within the Arizona Public Service (APS) service area.

### **Natural Gas**

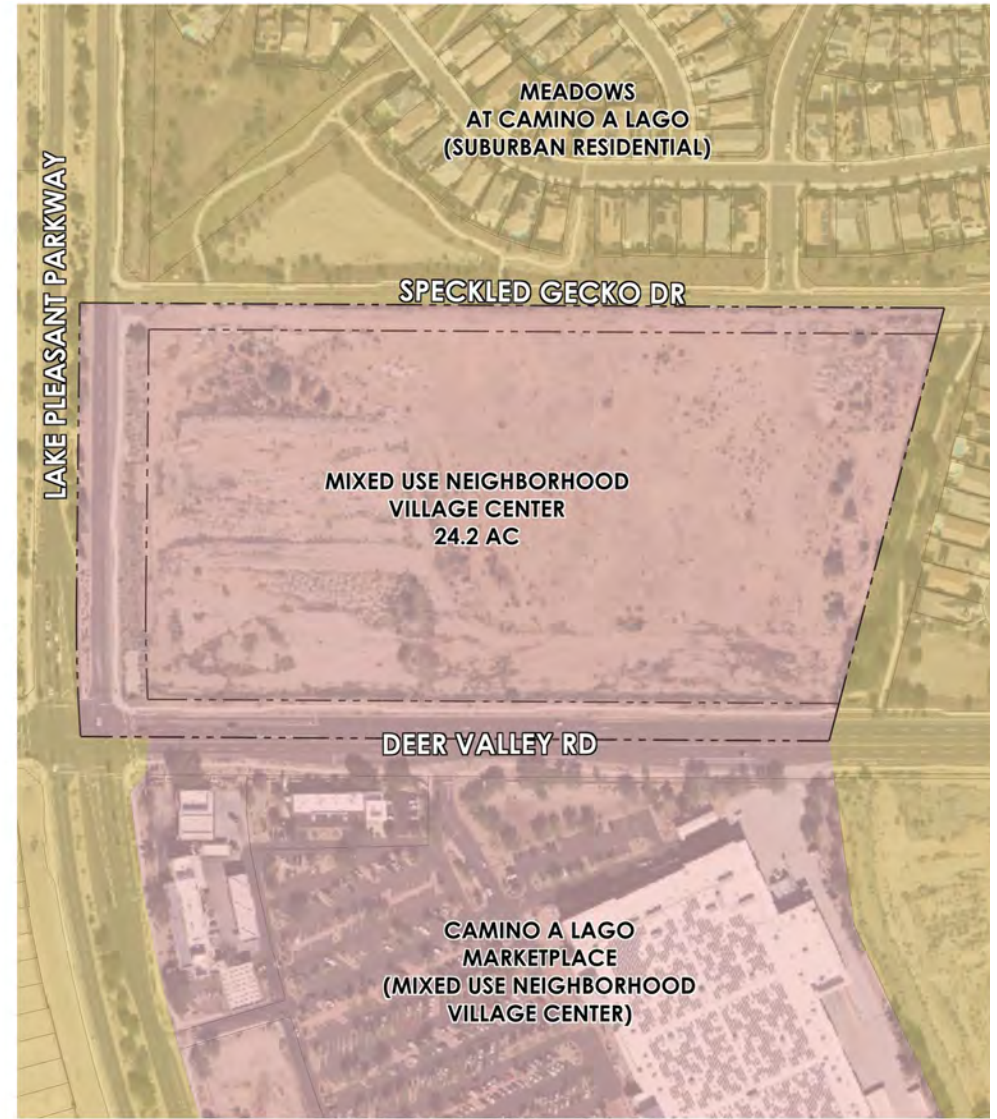
Natural gas will be provided by Southwest Gas Corporation.

### **Telephone Service**

The Shoppes and The Cove at Camino a Lago will employ Quest Communications, Cox Communications, or FisionX/Hotwire Communications for telephone service as the Local Exchange Carrier (LEC).



**EXISTING GENERAL PLAN LAND-USE**



**PROPOSED GENERAL PLAN LAND-USE**

**EXHIBIT 1: EXISTING AND PROPOSED GENERAL PLAN LAND USE MAP**





**EXISTING ZONING**



**PROPOSED ZONING**

**EXHIBIT 2: EXISTING AND PROPOSED ZONING MAP**



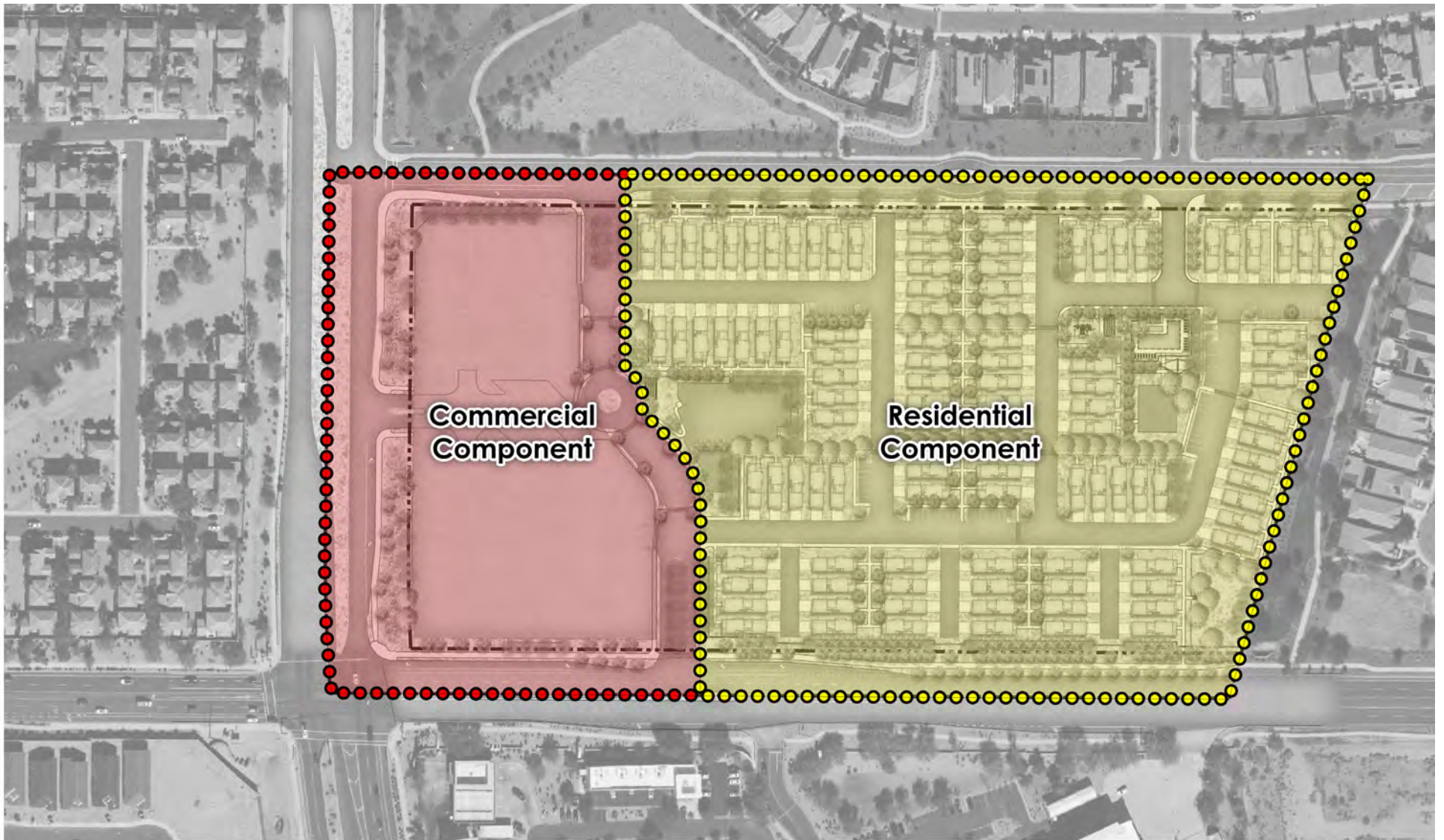


EXHIBIT 3: DEVELOPMENT COMPONENTS





EXHIBIT 4: CONCEPTUAL SITE PLAN





ENCLOSED TRASH RECEPTICLE

EXHIBIT 5: ALLEY LOT DIAGRAM



**LEGEND**

- - - PRIMARY PEDESTRIAN PATH
- - - SECONDARY PEDESTRIAN PATH
- - - 6' SHADED PEDESTRIAN PATH
- ||||| PEDESTRIAN CROSSWALK
- ✱ PEDESTRIAN GATE
- ✱ PEDESTRIAN NODE - COMMERCIAL\*
- ✱ PEDESTRIAN ACCESS - COMMERCIAL\*

\* FINAL LOCATION TO BE DETERMINED AT FINAL COMMERCIAL SITE PLAN APPROVAL

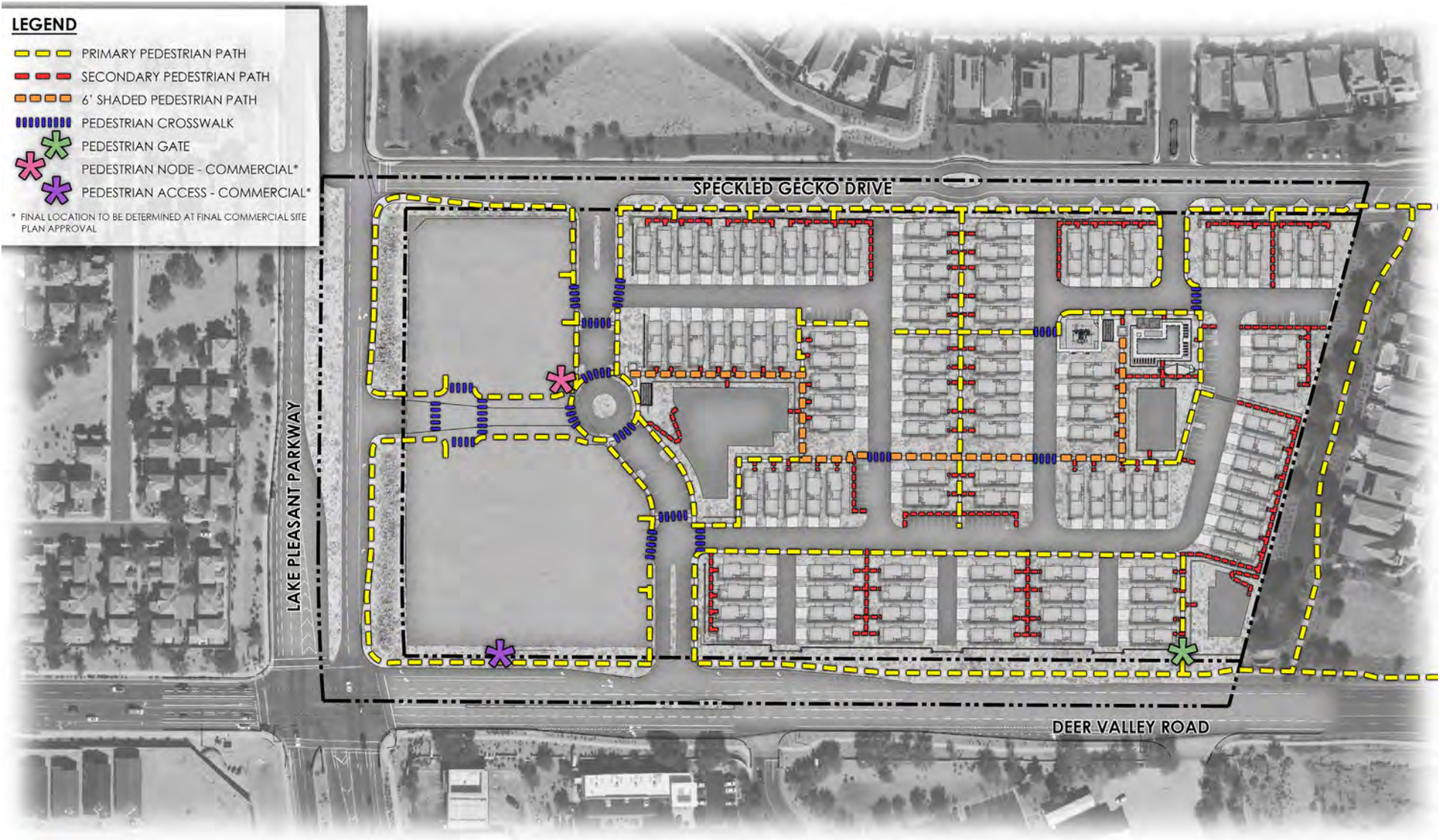


EXHIBIT 6: PEDESTRIAN CIRCULATION PLAN



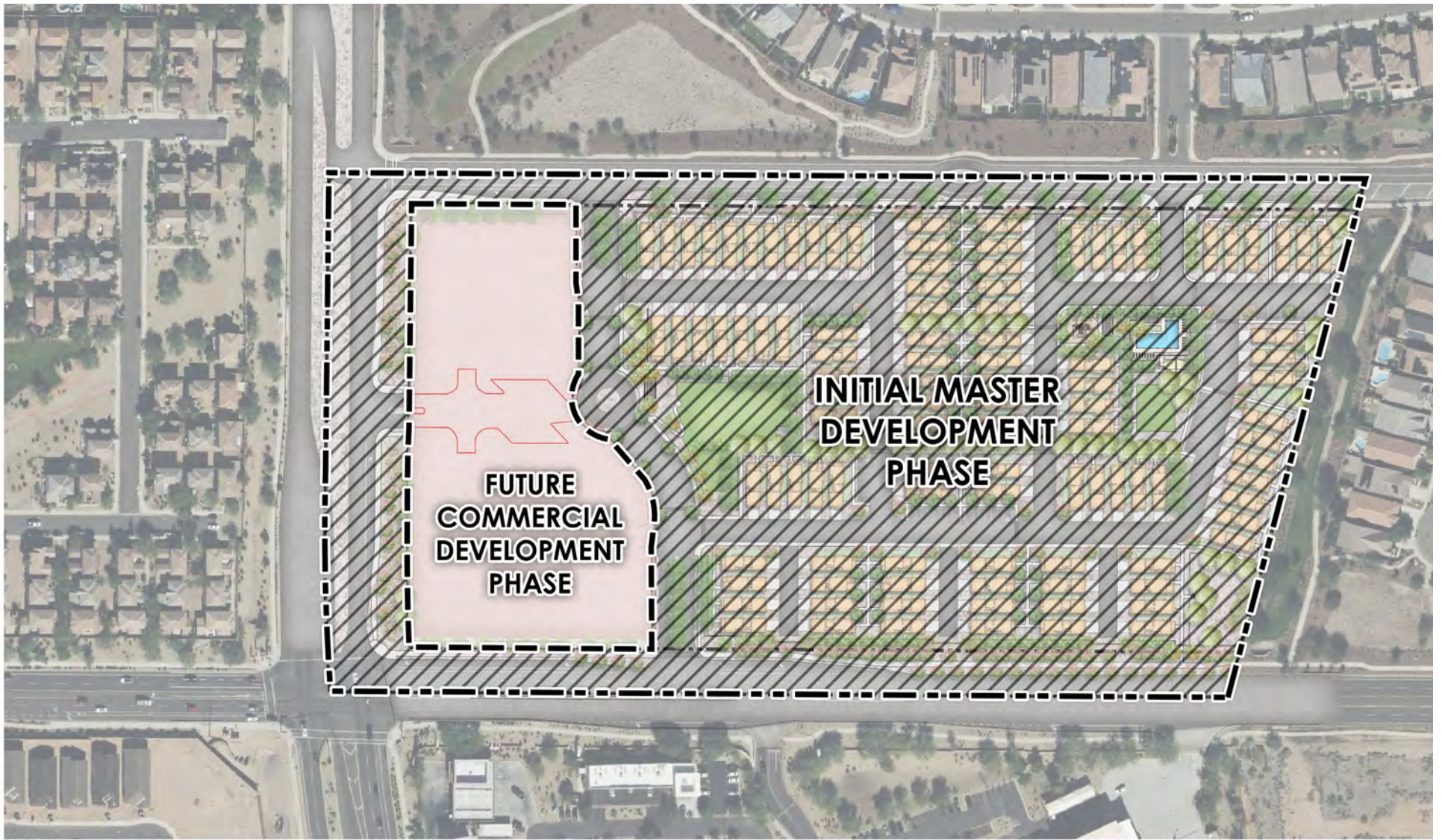
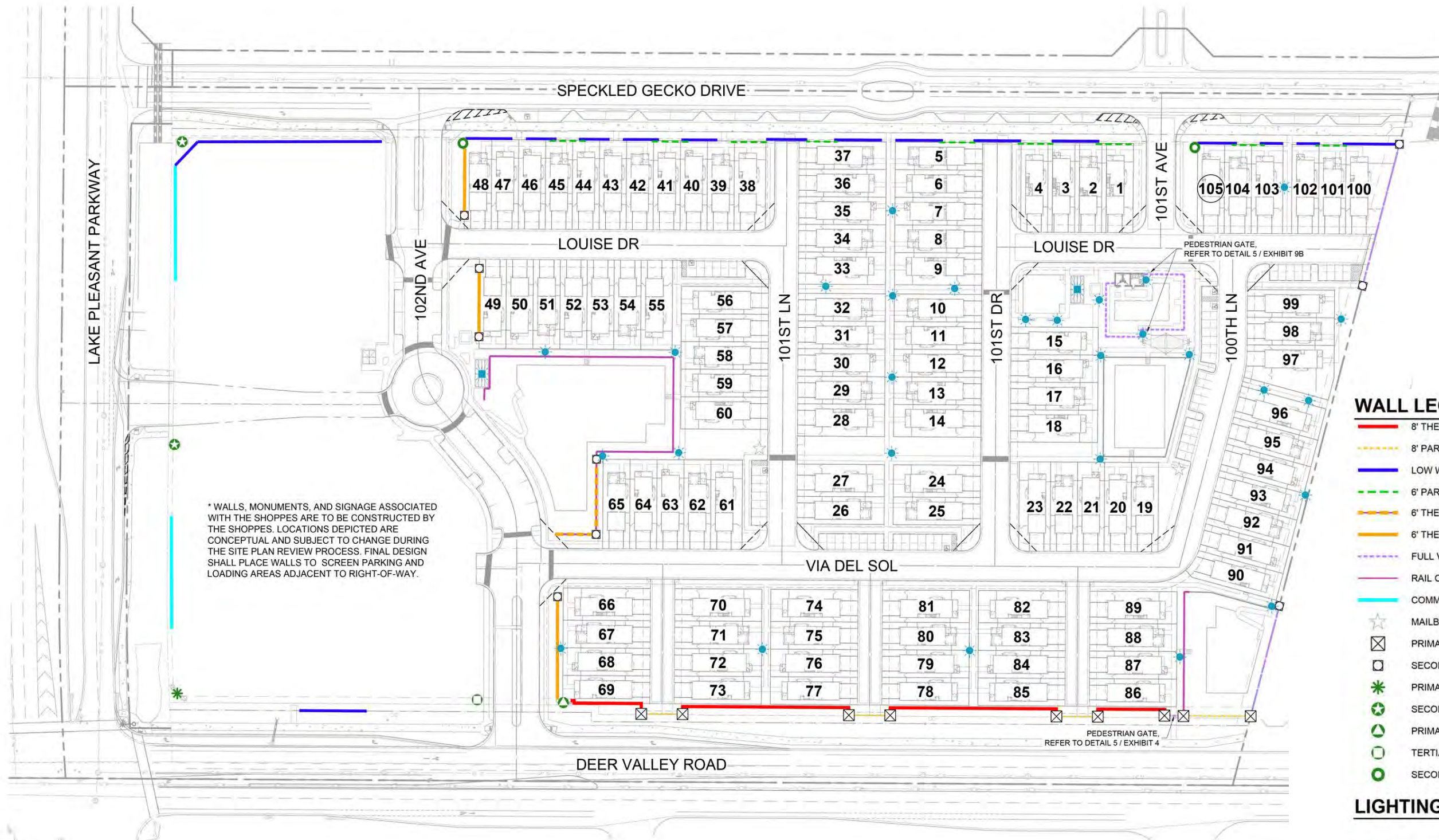


EXHIBIT 7: PHASING PLAN





\* WALLS, MONUMENTS, AND SIGNAGE ASSOCIATED WITH THE SHOPPES ARE TO BE CONSTRUCTED BY THE SHOPPES. LOCATIONS DEPICTED ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING THE SITE PLAN REVIEW PROCESS. FINAL DESIGN SHALL PLACE WALLS TO SCREEN PARKING AND LOADING AREAS ADJACENT TO RIGHT-OF-WAY.

- ### WALL LEGEND
- 8' THEME WALL, REFER TO DETAIL 2 / EXHIBIT 9A
  - - - 8' PARTIAL VIEW WALL, REFER TO DETAIL 3 / EXHIBIT 9A
  - LOW WALL, REFER TO DETAIL 4 / EXHIBIT 9A
  - - - 6' PARTIAL VIEW WALL, REFER TO DETAIL 5 / EXHIBIT 9A
  - - - 6' THEME WALL ON RETAINING WALL, REFER TO DETAIL 9 / EXHIBIT 9B
  - 6' THEME WALL, REFER TO DETAIL 8 / EXHIBIT 9A
  - - - FULL VIEW FENCE, REFER TO DETAIL 7 / EXHIBIT 9B
  - RAIL ON RETAINING WALL, REFER TO DETAIL 8 / EXHIBIT 9B
  - COMMERCIAL ROW LOW SCREEN WALL, REFER TO DETAIL 10 / EXHIBIT 9B
  - ☆ MAILBOX, REFER TO DETAIL 4 / EXHIBIT 9B
  - ⊠ PRIMARY COLUMN, REFER TO DETAIL 6 / EXHIBIT 9A
  - SECONDARY COLUMN, REFER TO DETAIL 7 / EXHIBIT 9A
  - ✱ PRIMARY COMMERCIAL MONUMENT, REFER TO DETAIL 9 / EXHIBIT 9A
  - ⊕ SECONDARY COMMERCIAL MONUMENT, REFER TO DETAIL 1 / EXHIBIT 9B
  - ⊕ PRIMARY RESIDENTIAL MONUMENT, REFER TO DETAIL 10 / EXHIBIT 9A
  - ⊕ TERTIARY COMMERCIAL MONUMENT, REFER TO DETAIL 2 / EXHIBIT 9B
  - ⊕ SECONDARY RESIDENTIAL MONUMENT, REFER TO DETAIL 3 / EXHIBIT 9B

- ### LIGHTING LEGEND
- ⊕ RAMADA LIGHT
  - ⊕ BOLLARD LIGHT

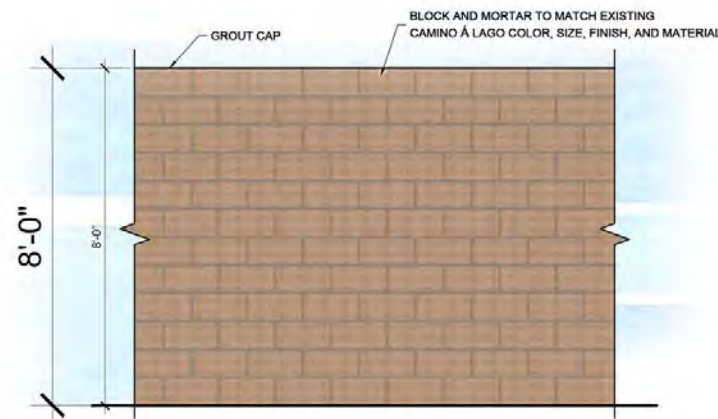
# EXHIBIT 8: WALL PLAN



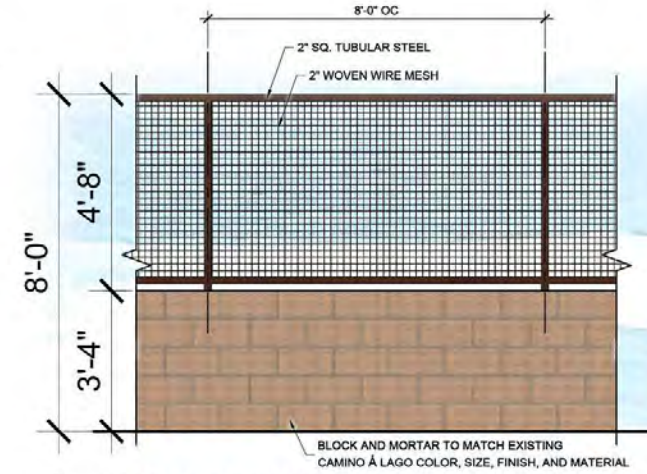


SLUMP BLOCK - COLOR, SIZE, FINISH, AND MATERIAL TO MATCH THE MEADOWS

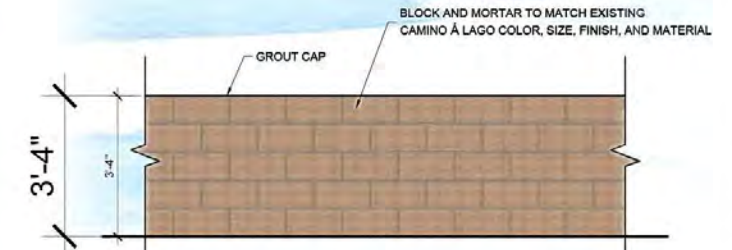
1 EXISTING CAMINO À LAGO WALLS  
SCALE: NTS



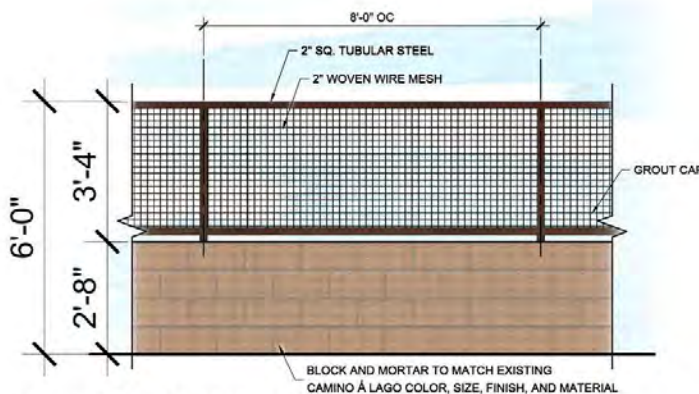
2 8' THEME WALL  
SCALE: 1/2" = 1'-0"



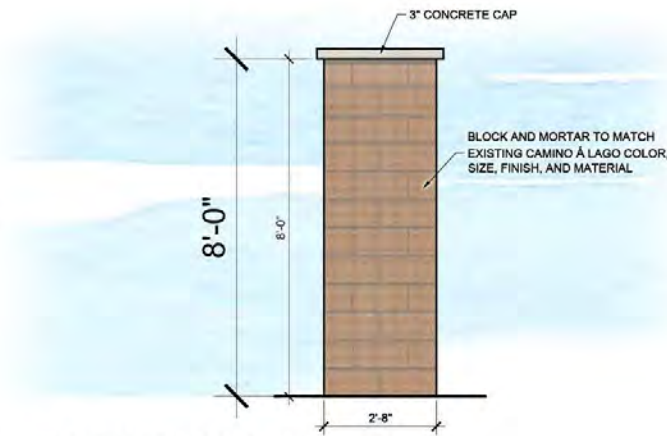
3 8' PARTIAL VIEW WALL  
SCALE: 1/2" = 1'-0"



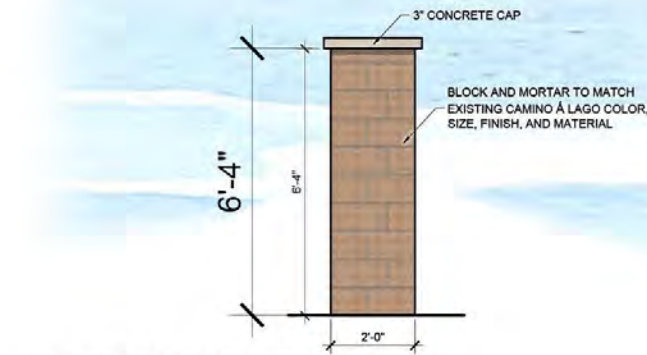
4 LOW WALL  
SCALE: 1/2" = 1'-0"



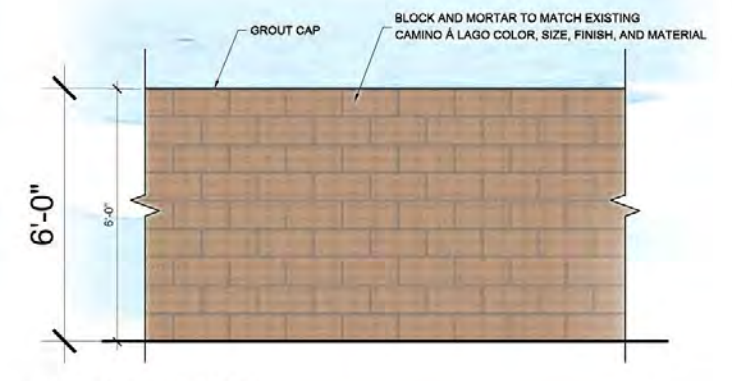
5 6' PARTIAL VIEW WALL  
SCALE: 1/2" = 1'-0"



6 PRIMARY COLUMN  
SCALE: 1/2" = 1'-0"



7 SECONDARY COLUMN  
SCALE: 1/2" = 1'-0"



8 6' THEME WALL  
SCALE: 1/2" = 1'-0"



9 PRIMARY COMMERCIAL MONUMENT  
SCALE: 1/4" = 1'-0"

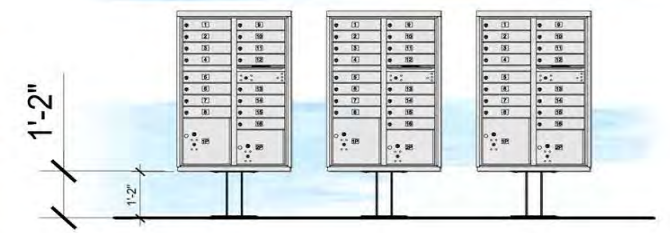
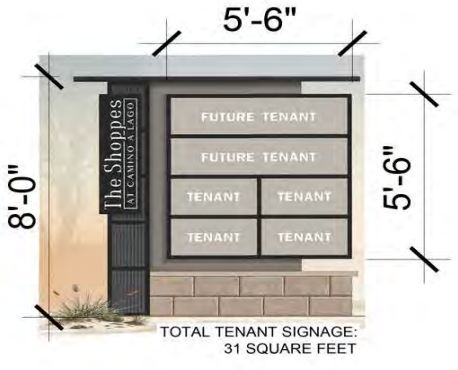
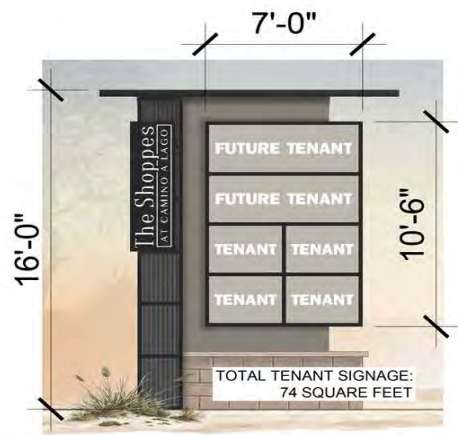
- SATIN BLACK PAINT
- METAL FRINGE
- CMU BRICK TO MATCH WALL MATERIAL TBD
- DARK ENGINE
- PLAY ON GRAY



10 PRIMARY RESIDENTIAL MONUMENT  
SCALE: 3/8" = 1'-0"

# EXHIBIT 9A: WALLS & MONUMENTATION





1 SECONDARY COMMERCIAL MONUMENT  
SCALE: 1/4" = 1'-0"

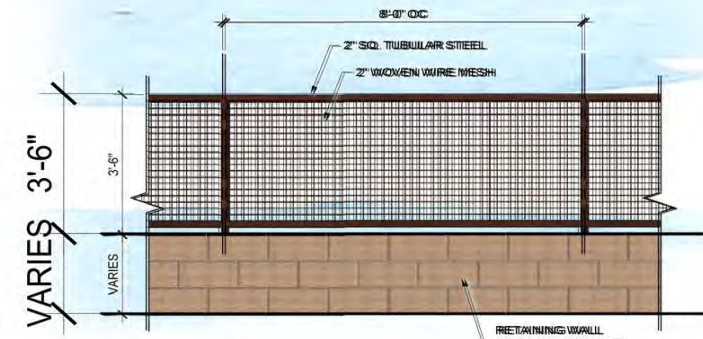
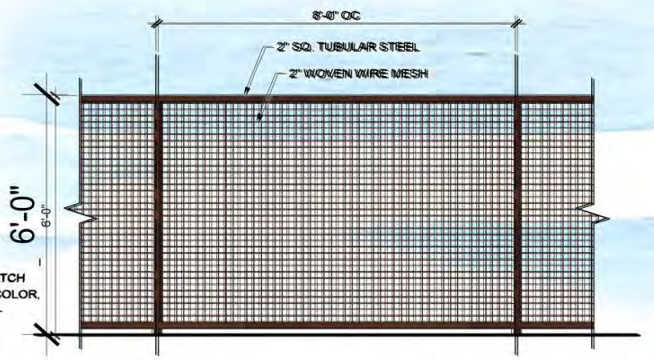
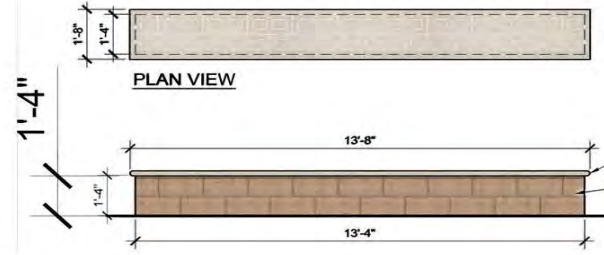
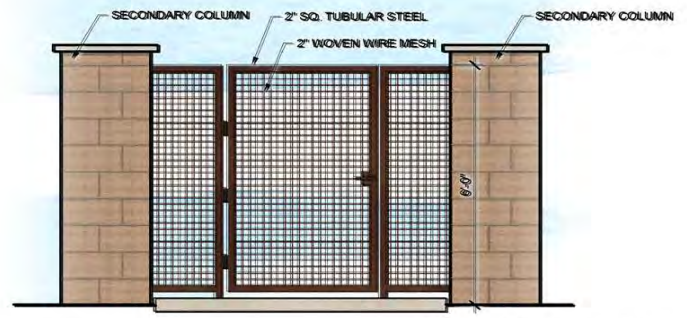
2 TERTIARY COMMERCIAL MONUMENT  
SCALE: 3/8" = 1'-0"

3 SECONDARY RESIDENTIAL MONUMENT  
SCALE: 3/4" = 1'-0"

4 MAILBOX  
SCALE: 1/2" = 1'-0"

■ SATIN BLACK PAINT ■ DARK ENGINE DE6350 ■ METAL FRINGE DET626 ■ PLAY ON GRAY DE6228

■ CMU BRICK TO MATCH WALL MATERIAL TBD

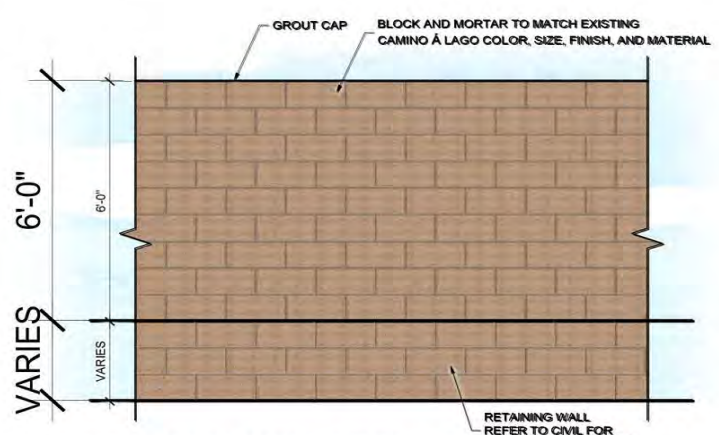


5 PEDESTRIAN GATE  
SCALE: 1/2" = 1'-0"  
\*FENCING AND GATES AT POOL SAFETY ENCLOSURE MAY BE MODIFIED TO MEET POOL CODE REQUIREMENTS AND PERMITTING.

6 SEATWALL / PLANTER  
SCALE: 3/8" = 1'-0"

7 6' FULL VIEW FENCE  
SCALE: 1/2" = 1'-0"  
\*FENCING AND GATES AT POOL SAFETY ENCLOSURE MAY BE MODIFIED TO MEET POOL CODE REQUIREMENTS AND PERMITTING.

8 RAIL ON RETAINING WALL  
SCALE: 1/2" = 1'-0"  
RETAINING WALL REFER TO CIVIL FOR HEIGHT AND MATERIALS



9 WALL ON RETAINING WALL  
SCALE: 1/2" = 1'-0"  
RETAINING WALL REFER TO CIVIL FOR HEIGHT AND MATERIALS

10 COMMERCIAL ROW LOW SCREEN WALL  
SCALE: 3/8" = 1'-0"

# EXHIBIT 9B: WALLS & MONUMENTATION



## APPENDIX A: LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:

Tract A of STATE PLAT NO. 43 CAMINO A LAGO, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 456 of Maps, Page 6;

EXCEPT the West 120 feet thereof.

APN 200-09-023G

# THE SHOPPES & THE COVE AT CAMINO Á LAGO

## Citizen Participation Report

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### Minor General Plan Amendment Zoning Map Amendment Case# GPA25-06 and PAD Z25-12

Peoria, Arizona  
Submitted: November 2025

Prepared By:

**ROSE LAW GROUP<sup>pc</sup>**  
**RICH • CARTER • FISHER**

Jennifer Hall, Sr Project Manager  
7144 E. Stetson Drive, #300  
Scottsdale, AZ 85251  
480-505-3938  
[jhall@roselawgroup.com](mailto:jhall@roselawgroup.com)

## **Project Proposal**

The following document outlines the citizen notification efforts for The Shoppes and The Cove at Camino á Lago project (Cases #GPA25-06 and PAD Z25-12).

The Developers of the proposed project are submitting a Rezoning and Minor General Plan Amendment application to the City for an approximate 24-acre site located on the NEC of Deer Valley Road and Lake Pleasant Parkway identified by Maricopa County Assessor as APN 200-09-023G (the "Project Site").

The application will change the Zoning Designation of the Project Site from Agriculture (AG) to Planned Area Development (PAD) with underlying C-2 and R1-6 zoning districts. The request will also modify the General Plan Designation from Mixed Use **Main Street** to Mixed Use **Neighborhood Village**.

## **Notification Area Map**

A 600-foot area map within which all property owners were notified of the requests and future public meetings including nearby HOAs is attached.

## **Contacted Parties**

The complete list of the property owners contacted through the outreach efforts is attached with this Report. Property ownership was determined based on current records obtained from Maricopa County Assessor website.

## **Contact Dates and Methods**

250 Notification letters were mailed via First Class U.S. Mail on 9/29/25 to all property owners within 600 feet, as well as to the adjacent HOA. The Applicant team held an open house community meeting on 10/15/25 at Sunrise Mountain Library which is located near the Project Site to inform the public about the request, answer questions and receive comments. See Exhibit A – Affidavit of Mailing.

## **Site Posting**

The project information and public meeting information was posted on site on 9/30/25 with 2 double sided 4x8 white signs as required by the City of Peoria. An Affidavit of posting with photographs is submitted with this Citizen Participation Report. See Exhibit B – Affidavit of Posting.

## **Neighborhood Meeting:**

A Neighborhood Open House Meeting was held at Sunrise Mountain Library on the evening of 10/15/25. A summary of the Open House meeting along with the sign in sheet and public comment cards received is attached as Exhibit C – Open House Summary in this Citizen Participation Report.

## **School District Notification:**

The Applicant team has reached out to the Peoria Unified School District to inform them of the project and addition of 105 homes and will provide an update on that communication to city staff.

**Exhibit A – Affidavit of Notification Mailing**

**Affidavit of Notification**

**Application:** GPA25-06 and Z25-12

**Applicant Name:** LENNAR

**Location:** NEC Lake Pleasant Pkwy and Deer Valley

I confirm that notice as required for the case noted above has been mailed or delivered to the attached list of property owners and neighborhood associations at the addresses noted.

[Redacted Signature]  
**Applicant/Representative Signature**

9/29/25  
**Date**

This instrument was acknowledged before me on this 29th day of September,

2025, by Kayla Amado. In witness whereof

I hereunto set my hand and official seal.

[Redacted Notary Signature]  
**Notary Public**

**My commission expires** June 5, 2027



# ROSE LAW GROUP<sub>pc</sub>

---

RICH ■ CARTER ■ FISHER

JENNIFER HALL  
7144 E. Stetson Drive, Suite 300  
Scottsdale, AZ 85251  
Phone 480.505.3938 Fax 480.505.3925  
JHall@RoseLawGroup.com  
www.RoseLawGroup.com

September 25, 2025

Dear Property Owner, Current Resident, and/or Neighborhood Association,

This Notification letter is being sent to inform you about a Minor General Plan Amendment (GPA) and Rezoning to PAD application that was recently submitted to City of Peoria. This request will allow for the development of a new Mixed Use project on +/-22 gross acres of Arizona State Land to be known as, "*The Shoppes and The Cove at Camino a Lago*". This exciting Mixed Use project is being proposed on the northeast corner of Lake Pleasant Parkway and Deer Valley Road through a dynamic partnership between Arizona's leading homebuilder, Lennar, and nationally recognized commercial developer, Barclay Group.

The proposed project consists of +/-16 gross acres of single-family homes fronted by +/-6 gross acres of community commercial along Lake Pleasant Parkway (Cases #GPA25-06 and Z25-12). The site has been thoughtfully designed to integrate the uses through internal circulation and activated with pedestrian connectivity throughout the site. The conceptual layout for the project provides 106 new for-sale homes with alley-loaded garages. This new community is being planned with a focus on walkability which includes seamless connection of sidewalks and pathways, community parks, shade trees, and plentiful seating areas to encourage a pedestrian friendly environment between the new homes and the frontage commercial pads.

Existing General Plan designation: Mixed Use – Main Street  
Proposed General Plan designation: Mixed Use – Neighborhood Village Center

Existing Zoning: Agriculture (AG)  
Proposed Zoning: Commercial (C-2) and R1-6 Single Family Residential with  
Planned Area Development (PAD) overlay

Please join us for a Neighborhood Meeting to meet the Development Team and learn more about the project.

**NEIGHBORHOOD MEETING/OPEN HOUSE FORMAT:**

**Wednesday, October 15, 2025**  
**Sunrise Mountain Library**  
**21109 N 98th Ave, Peoria, AZ 85382**  
**Anytime between 5:30PM – 6:30PM**

If you are unable to attend this open house meeting, please contact me directly at 480-505-3938 or [jhall@roselawgroup.com](mailto:jhall@roselawgroup.com) for project information or you may reach Elias Valencia, Peoria Senior Planner, at 623-773-5044 or [elias.valencia@peoriaaz.gov](mailto:elias.valencia@peoriaaz.gov) and reference *The Shoppes and The Cove at Camino a Lago* (Cases #GPA25-06 and Z25-12).

Sincerely,

**Jennifer Hall**  
Senior Project Manager

*Conceptual Site Plan*



## SAMPLE Home Designs



REAR



REAR

## SAMPLE Home Designs



REAR



REAR



[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

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[REDACTED]

[REDACTED]



[REDACTED]

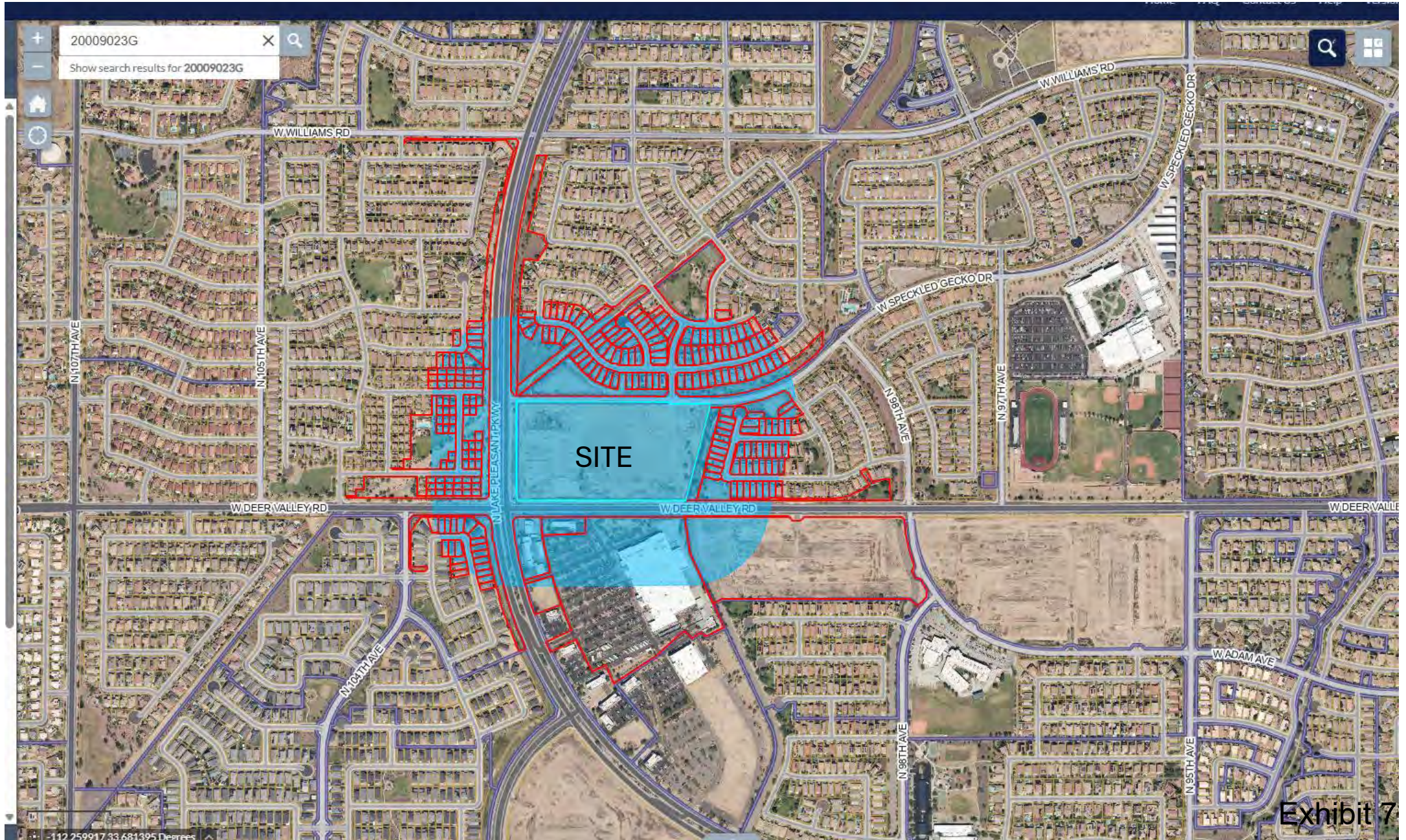
[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

# The Shoppes and The Cove at Camino a Lago: 600ft Notification Map



**Exhibit B – Affidavit of Posting**



# PLANNING AND ZONING AFFIDAVIT OF NOTIFICATION

Date 09/30/25 Case Number : GPA25-06 and Z25-12

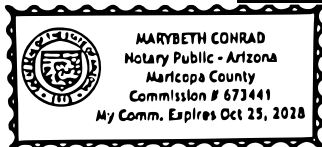
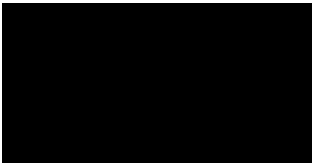
Location of Property

NEC Lake Pleasant Pkwy and Deer Valley

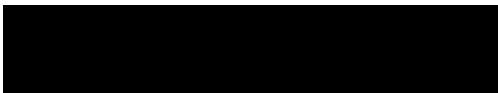
Sign Company Name Dynamite Signs, Inc.

I, Meghan Liggett certify that the site has been posted on 09/30/25 as indicated by the project manager for the case listed above.

Applicant/Representative Signature



The foregoing instrument was acknowledged before me on 09/30/25



Notary Public

10-25-28

My Commission Expires

Return completed notarized affidavit AND photographic evidence of site posting to the Community Development **at least 15 days prior** to the hearing body date.

9875 N. 85<sup>th</sup> Ave., Development and Community Services Building  
Peoria, AZ 85345  
623-773-7200

# City of Peoria Public Notice

**Request 1:** Minor General Plan Amendment from Mixed Use – Main Street to Mixed Use – Neighborhood Village

**Request 2:** Rezone from AG to PAD

**Project Location:** NEC of Lake Pleasant Parkway and Deer Valley Rd

**Project Size:** +/-24.2 gross acres

**Proposed Use:** Mixed Use Project consisting of +/- 16.4 acres of single-family homes combined with +/-7.8 acres of community commercial

**Applicant Contact:**

Name: Rose Law Group pc,  
Jennifer Hall, Sr Project Manager  
Phone: 480-505-3938  
Email: [jhall@roselawgroup.com](mailto:jhall@roselawgroup.com)

**City Contact:**

Planning and Community Development / Elias Valencia, Sr Planner  
623-773-5044  
[planning&zoning@peoriaaz.gov](mailto:planning&zoning@peoriaaz.gov) / [Elias.Valencia@peoriaaz.gov](mailto:Elias.Valencia@peoriaaz.gov)  
[www.peoriaaz.gov/planning](http://www.peoriaaz.gov/planning)



**Neighborhood Meeting(s):**

When: October 15, 2025 at 5:30PM  
Where: Sunrise Mountain Library –  
Community Room  
21109 N 98th Ave, Peoria, AZ 85382

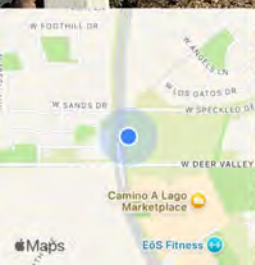
**Planning and Zoning Commission Hearing:**

When: TBD  
Where: Public Safety Administration Building  
8351 W Cinnabar Avenue  
2nd floor Peoria Conference Room

**City Council Hearing:**

When: TBD  
Where: Public Safety Administration Building  
8351 W Cinnabar Avenue  
2nd floor Peoria Conference Room

**Case No(s):** GPA25-06 and Z25-12



September 30, 2025 at 8:23 AM  
+33.682820,-112.279430  
21845-21861 N Lake Pleasant Pkwy  
Peoria AZ 85383  
United States



# City of Peoria Public Notice

**Request 1:** Minor General Plan Amendment from Mixed Use – Main Street to Mixed Use – Neighborhood Village

**Request 2:** Rezone from AG to PAD

**Project Location:** NEC of Lake Pleasant Parkway and Deer Valley Rd

**Project Size:** +/-24.2 gross acres

**Proposed Use:** Mixed Use Project consisting of +/- 16.4 acres of single-family homes combined with +/-7.8 acres of community commercial

**Applicant Contact:**

Name: Rose Law Group pc,  
Jennifer Hall, Sr Project Manager  
Phone: 480-505-3938  
Email: [jhall@roselawgroup.com](mailto:jhall@roselawgroup.com)

**City Contact:**

Planning and Community Development / Elias Valencia, Sr Planner  
623-773-5044  
[planning&zoning@peoriaaz.gov](mailto:planning&zoning@peoriaaz.gov) / [Elias.Valencia@peoriaaz.gov](mailto:Elias.Valencia@peoriaaz.gov)  
[www.peoriaaz.gov/planning](http://www.peoriaaz.gov/planning)

**Neighborhood Meeting(s):**

When: October 15, 2025 at 5:30PM  
Where: Sunrise Mountain Library –  
Community Room  
21109 N 98th Ave, Peoria, AZ 85382

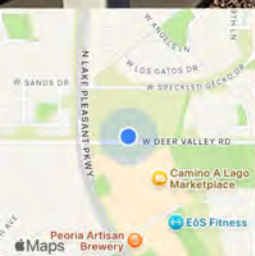
**Planning and Zoning Commission Hearing:**

When: TBD  
Where: Public Safety Administration Building  
8351 W Cinnabar Avenue  
2nd floor Peoria Conference Room

**City Council Hearing:**

When: TBD  
Where: Public Safety Administration Building  
8351 W Cinnabar Avenue  
2nd floor Peoria Conference Room

**Case No(s):** GPA25-06 and Z25-12



September 30, 2025 at 7:52 AM  
+33.681954, -112.277654  
10096–10112 W Deer Valley Rd  
Peoria, AZ 85382  
United States

# City of Peoria Public Notice

**Request 1:** Minor General Plan Amendment from Mixed Use – Main Street to Mixed Use – Neighborhood Village

**Request 2:** Rezone from AG to PAD

**Project Location:** NEC of Lake Pleasant Parkway and Deer Valley Rd

**Project Size:** +/-24.2 gross acres

**Proposed Use:** Mixed Use Project consisting of +/- 16.4 acres of single-family homes combined with +/-7.8 acres of community commercial

**Applicant Contact:**

Name: Rose Law Group pc,  
Jennifer Hall, Sr Project Manager  
Phone: 480-505-3938  
Email: [jhall@roselawgroup.com](mailto:jhall@roselawgroup.com)

**City Contact:**

Planning and Community Development / Elias Valencia, Sr Planner  
623-773-5044  
[planning&zoning@peoriaaz.gov](mailto:planning&zoning@peoriaaz.gov) / [Elias.Valencia@peoriaaz.gov](mailto:Elias.Valencia@peoriaaz.gov)  
[www.peoriaaz.gov/planning](http://www.peoriaaz.gov/planning)

**Neighborhood Meeting(s):**

When: October 15, 2025 at 5:30PM  
Where: Sunrise Mountain Library –  
Community Room  
21109 N 98th Ave, Peoria, AZ 85382

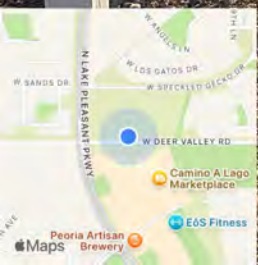
**Planning and Zoning Commission Hearing:**

When: TBD  
Where: Public Safety Administration Building  
8351 W Cinnabar Avenue  
2nd floor Peoria Conference Room

**City Council Hearing:**

When: TBD  
Where: Public Safety Administration Building  
8351 W Cinnabar Avenue  
2nd floor Peoria Conference Room

**Case No(s):** GPA25-06 and Z25-12



September 30, 2025 at 7:51 AM  
+33 681954 -112 277654  
10096-10112 W Deer Valley Rd  
Peoria AZ 85382  
United States

## Exhibit C – Open House Summary

**The Shoppes and The Cove at Camino a Lago**  
**GPA25-06 and Z25-12**  
**Open House Meeting Summary**

**Date:** October 15, 2025  
**Time:** 5:30PM-6:30PM  
**Location:** Sunrise Mtn Library  
21109 N 98<sup>th</sup> Ave  
Peoria, AZ 85382

**Applicant Team:**

Jennifer Hall, Sr. PM Rose Law Group  
Alex Hosmar, Attorney Rose Law Group  
Kayla Amado, Rose Law Group  
Matt Werner, Lennar  
Colby Finchman, Barclay Group  
Mollie Maroney, Barclay Group  
Jessica Miller, RVi Planning  
Konner Pendland, RVi Planning  
Andrew Jupp, Kimley Horn  
Kate Randolph, Kimley Horn

**City Staff In Attendance:**

Councilman Jon Edwards  
Chris Jacques, Planning Director  
Lorie Dever, Planning Manager  
Elias Valencia, Case Planner

The Applicant Team arrived at the meeting site at 4:45PM to set up the meeting room with exhibit boards on easels. Neighbors began arriving shortly after 5:00PM and were asked to sign into the meeting. A total of 12 neighbors signed into the meeting and we received 6 comment cards that are attached with this summary. The Applicant Team greeted each of the neighbors and were walked through the exhibit boards and presented with details about the zoning amendment as well as the specific details about the project.

Comments expressed by the neighbors included existing traffic issues, dislike for smaller residential lots, they would like to see more homes exactly like the Meadows, develop the site entirely as commercial, develop the site entirely as residential, and potential impacts property values.

6 comment cards received:

- 3 opposed claiming lots too small will decrease property values, traffic, overcrowded school, and crime
- 1 neutral but concerned about traffic and access onto LPP
- 2 did not specify but indicated traffic is concern and property values

The meeting adjourned and the Applicant Team packed up the exhibit boards at approximately 6:45 PM.

The Shoppes and The Cove at Camino a Lago | Open House Meeting Sign-in Sheet

Sunrise Mountain Library | Wednesday, October 15, 2025 from 5:30PM - 6:30PM | #GPA25-06 and Z25-12

Name	Address	Email	Phone	Y/N to receive project updates
Kurt Ferris				
Theresa Sward				
Jason Flynn				
ELIAS VALENCIA				
Vernon Collins				
Poqja				
Gary Russell				
Kalen LaCrosse				
CoryLo Crosse				

The Shoppes and The Cove at Camino a Lago | Open House Meeting Sign-in Sheet

Sunrise Mountain Library | Wednesday, October 15, 2025 from 5:30PM - 6:30PM | #GPA25-06 and Z25-12

Name	Address	Email	Phone	Y/N to receive project updates
Lorie Dever	[Redacted]	[Redacted]	[Redacted]	
David & Sharon Peterson				
Jagadeesh Karimaru				
Marie Ivanic				Y

We would love to hear your thoughts about this project. All comment cards will be submitted to staff and included in the case report.

Name: DAVID

Address:

Please circle one: SUPPORT / OPPOSED / NEUTRAL

**WRITE COMMENTS BELOW**

OK WITH THE SMALL  
COMMERCIAL AREA. HOMES  
NEED TO BE RESIDENTIAL  
HOMES WITH LOT SIZES AND  
HOMES MIMICING THE  
SURROUNDING COMMUNITY.  
THE SMALL LOTS SUGGESTED  
IN THE FLYER AND SMALLER  
HOMES WILL DEVALUE  
ADJACENT PROPERTIES BY  
50-100K. PLUS, I WOULD  
EXPECT ADDITIONAL CRIME  
IN THE NEIGHBORHOOD.

Cont. on reverse →

We would love to hear your thoughts about this project. All comment cards will be submitted to staff and included in the case report.

Name:

Vernon Collins

Address:



Please circle one: SUPPORT / OPPOSED / NEUTRAL

### WRITE COMMENTS BELOW


I have multiple concerns. First off, these proposed, versus my home type, will drastically reduce my homes valuation. Secondly, traffic is the next concern. Limited entrances/exits could cause even more accidents in a neighborhood that already has numerous fatalities and common accidents too frequently. Third, so many considerably smaller builds will not only decrease home values but bring in more "short term" tenants that will probably rent, not maintain or care about their living arrangements as they are short term, not a permanent home. With that as well, I feel, brings a negative

Cont. on reverse →

crowd into a community. The lack of parks, additional schooling for even more kids, in an already overcrowded school district doesn't help as well. This is a sought after neighborhood. I feel we could do better than what is being proposed. I also feel the community deserves better. Thank you for your time

We would love to hear your thoughts about this project. All comment cards will be submitted to staff and included in the case report.

Name: Sharon Peterson

Address: 

Please circle one: SUPPORT / OPPOSED / NEUTRAL

**WRITE COMMENTS BELOW**

Concern is additional traffic  
It's a busy area. Would  
prefer less homes.

Please work traffic issues,  
& access to lake Pleasant

Cont. on reverse →

We would love to hear your thoughts about this project. All comment cards will be submitted to staff and included in the case report.

Name: Pooja Ponnamma

Address: [REDACTED]

Please circle one: SUPPORT / OPPOSED / NEUTRAL

### WRITE COMMENTS BELOW

The properties open up to Speckle Gecko Drive, there will a traffic choke up there ~~is~~ at school times. ~~Currently these~~ ~~is~~ The homes are way smaller than meadows which will bring down our property value.

Cont. on reverse →

We would love to hear your thoughts about this project. All comment cards will be submitted to staff and included in the case report.

Name: Theresa Sewad

Address: [REDACTED]

Please circle one: SUPPORT / OPPOSED / NEUTRAL

### WRITE COMMENTS BELOW

No car wash  
No fast food  
No smoke shops  
No tiny homes - the 2 story w/ small lots not ok  
Want larger homes on larger lots  
No gas station

Want: Parks, Playground, Natural Space

Already sent letters to City of Peoria

Some shopping area would be ok  
but it should not be all this shoved  
into such a small space

Cont. on reverse →

We would love to hear your thoughts about this project. All comment cards will be submitted to staff and included in the case report.

Name: JASON DRAGER

Address: \_\_\_\_\_

Please circle one: SUPPORT / OPPOSED / NEUTRAL

Change

**WRITE COMMENTS BELOW**

- + More walkable retail
- ~~No~~ Drive Thrus <sup>Connect the units</sup>
- LPSJ Housing 50/50 at Max
- + Put office on top of retail
- + Promote local business  
limit out of state businesses.

Cont. on reverse →

From: [Chris Jacques](#)  
To: [Elias Valencia](#)  
Cc: [Lorie Dever](#)  
Subject: FW: The Cove at Camino A Lago  
Date: Wednesday, October 15, 2025 10:15:49 AM

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Please include in the record for this case.

Chris M. Jacques, AICP, MBA  
Planning Director  
Planning & Community Development Department  
City of Peoria, AZ  
P 623.773.7609  
chris.jacques@peoriaaz.gov

Office schedule: Monday - Thursday

Please consider the environment before printing this e-mail.

-----Original Message-----

From: Jon Edwards <Jon.Edwards@peoriaaz.gov>  
Sent: Wednesday, October 15, 2025 9:37 AM  
To: Chris Jacques <Chris.Jacques@peoriaaz.gov>; Mike Faust <mike.faust@peoriaaz.gov>  
Cc: Daniel Murillo <daniel.murillo@peoriaaz.gov>  
Subject: FW: The Cove at Camino A Lago

For your records

Jon Edwards  
Councilmember  
Willow District  
8401 West Monroe Street  
Peoria, AZ 85345-6560

-----Original Message-----

From: Paul Senseman [REDACTED]  
Sent: Wednesday, October 15, 2025 9:30 AM  
To: Jon Edwards <Jon.Edwards@peoriaaz.gov>  
Subject: The Cove at Camino A Lago

This email arrived from an external source. Please exercise caution when opening attachments or clicking on links.

Councilman,

I am a resident of The Meadows at Camino A Lago and have been since 2015. I've been a Peoria resident starting in 1970, and our family has been present in what is now Peoria since 1908.

Let me first say that the government that governs least, governs best. For Americans to continue to enjoy the freedom and dynamism that has fueled our peace and prosperity for 250 years, we need to allow people to be free to worship without harassment, speak without threat of violence, and do with their own property what they reasonably choose to do. This development plan is completely reasonable, and the owners therefore should be allowed to do with it as they please. I'm not an idiot, so I'm not supportive of a zero-input stance of local government. But our local tendencies, and occasional popular sentiment, across all our municipalities in our region, is to micro-manage everything in ways that blur or even eliminate the sanctity and wisdom of private property and free commerce. I thank you for your efforts to reasonably resist this temptation.

I support the plans for this new development and welcome it as a new opportunity for some young families to purchase a home and reside in our hometown. There is a dearth of new homes for families to start and advance their professional lives in our area. The City and its residents have worked tirelessly for years to compete and recruit the exceptional employment opportunities that are now on the cusp of accelerating our economy even further. Now is the time, not later, to carefully consider the best ways to keep those economically vibrant young families in our area, to support them as they grow and thrive, and therefore to sustain our future. We need them desperately, and the communities that plan and welcome them with the most affordable options will be the biggest winners of prosperity over time. Thank you for considering the long term, first.

This development's plans will no doubt receive some critical public comments. I hope and ask that you resist the red-herrings of "lower property values", "more traffic", or "crowded schools". I'm a product myself of the Peoria Unified School District, and at times the schools were so crowded that we experienced double sessions. Property values skyrocketed before, during, after that period. Property values are contingent on growth and dynamism, not on vacant and unused lots or endless political micromanagement and/or indecision. I've heard these refrains deployed so many times as to lose count, and in my decades of experience in this City I have personally witnessed new growth, new density, more traffic, and unbelievable growth in property values. They all grow together, simultaneously and in harmony, not apart.

In conclusion, let me share that I love my neighbors, and even the ones that vehemently disagree with my opinions. That's why I choose to live here, because they are outstanding people that are quietly and tirelessly attempting to live a productive and influential life for their God and for their country. My neighbors have elected great and trustworthy leaders who strive to restrain their authority and instead promote freedom and liberty. Our present and our future is almost too good to be true here, so I pray that we resist the temptation to focus on our own conveniences and instead focus on the future that we build together. Dormancy doesn't build a future - cultivation and construction builds a future.

Thank you for your consideration of my views.

Most Sincerely,

Paul Senseman

From: [REDACTED]  
To: [jeff.gunderson@lennar.com](mailto:jeff.gunderson@lennar.com)  
Cc: [Cody Gleason](#); [Rick Stokes](#); [Jon Edwards](#); [Peoria Mayor](#); [REDACTED]  
Subject: Camino a Lago Auction - Consideration for Community Naming in Camino á Lago Area  
Date: Wednesday, June 4, 2025 12:17:22 PM

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Hi Jeff Gunderson,

Congratulations on your successful auction of land in Camino á Lago! I'm a resident of the area, and I serve on my HOA board. I also work with nearby HOAs in Camino á Lago South and The Meadows at Camino á Lago on various community-related matters. Recently, neighbors have been discussing the potential for dirt-moving activity near our area.

It's been exciting to watch this part of the city grow and mature. Over the past several years, we've seen many new homes and retail spaces go up—enhancing both quality of life and property values. HOAs play a vital role in maintaining this quality and in protecting those values. Over the past year, our HOA has focused on enhancing the look and feel of our community in ways that also reflect positively on the city. These improvements include refreshed landscaping, repainting perimeter walls, and updating monument signage.

One of our proudest efforts is the new signage and artwork at the southwest corner of Williams Road and Lake Pleasant Parkway. It welcomes people not just to our neighborhood but to the larger Camino á Lago area of Peoria.

Camino á Lago is a Specific Area Plan development that includes four distinct HOAs: The Meadows at Camino á Lago, Casa Del Rey at Camino á Lago, Camino á Lago South, and Desert Star.

While I'm supportive of new housing opportunities in the area, I respectfully ask that the future developer consider one key item: the **naming** of the new community. While I understand that marketing strategy is a factor, I believe it's also important to consider the long-term identity of this area.

Some of the Valley's most memorable communities—like Vistancia, Arrowhead Ranch, Norterra, DC Ranch, Desert Ridge, McCormick Ranch, and Greyhawk—have a strong shared identity that extends across multiple sub-neighborhoods. These larger brand identities strengthen community recognition and foster a sense of place.

When The Meadows was developed, they chose to incorporate “Camino á Lago” into their signage along Williams, Lake Pleasant Parkway, and Deer Valley, helping give our part of Peoria a recognizable identity. I believe this branding approach benefited not just their community, but the entire Camino á Lago region.

As Lennar begins planning the development of the prominent corner at Lake Pleasant and Deer Valley, I see a tremendous opportunity to enhance this area's identity. Naming the new neighborhood as part of Camino á Lago would help preserve and build upon the sense of place

that has already taken root here.

I respectfully ask that any rezoning or Specific Area Plan amendments consider the naming and branding of this development in alignment with Camino á Lago.

In the Specific Area Plan for Camino a Lago the following goals and standards are listed:

<https://www.peoriaaz.gov/home/showpublisheddocument/3788/638327066230500000>

GOAL C - Encourage the development of sound and stable residential neighborhoods. The Camino á Lago Use Plan has been crafted to promote high quality residential environments at varying densities that will be convenient to commercial, school and open space uses. The unique design of the project's circulation system and the size of the residential parcels ensure cohesive and functioning neighborhoods which will be adequately buffered from the commercial core planned for the intersection of Lake Pleasant Parkway and Deer Valley Road.

Signage - Strengthen the identity of the planning area by appropriate signage, sculpture, repetitive graphic symbols and distinctive landscaping with hardscape features at entrances into the area and at key locations within.

Site Design - Each residential parcel may require its own identity; however, there is a need to maintain a sense of unity in these residential areas through consistent standards and organization principles. Architectural motifs may vary but principles of basic site organization, parking location and screening, landscape standards and setbacks exterior lighting, unit access and parcel access should be consistent within this land use category and with other residential and commercial development within the plan area.

Thank you for taking the time to consider this request as you plan and re-envision the hard corner of Lake Pleasant and Deer Valley.

Christian M. Williams  
Area Resident in Camino á Lago

From: [REDACTED]  
To: [Rick Stokes](#); [Jon Edwards](#); [Peoria Mayor](#); [Cody Gleason](#)  
Subject: Development  
Date: Wednesday, June 11, 2025 5:12:22 PM

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Some people who received this message don't often get email from [REDACTED] [Learn why this is important](#)

**This email arrived from an external source. Please exercise caution when opening attachments or clicking on links.**

Dear Mayor and Councilmembers,

As a long-time resident of the Camino á Lago area, I want to share my thoughts regarding the future development of the northeast corner of Lake Pleasant Parkway and Deer Valley Road. This is an important location in the heart of our neighborhood, and with it being the last major commercial site in the area, I hope it's approached with care and in line with the vision outlined in the City's General Plan.

This corner is designated Mixed Use Main Street, which is intended to support vibrant, walkable areas where homes, shops, offices, and public spaces come together to create a strong sense of place. With some of the highest residential density in the area surrounding this site and traffic volumes now exceeding 13,000 vehicles per day on Deer Valley and over 21,000 on Lake Pleasant Parkway, this location is primed for a well-planned, mixed-use destination that meets both current and future community needs.

We ask that future planning include true integration between the residential and commercial components. Sidewalks, pathways, and other pedestrian features should be emphasized so residents and customers can move easily throughout the site. If residential is included, it should reflect the amenity standards of nearby high-density neighborhoods like The Meadows and Casa Del Rey, which both offer features such as pools and communal spaces for their residents.

As for the commercial portion, certain uses would be out of place here. We ask that the City avoid approving businesses like car washes, auto repair, smoke shops, and storage facilities. These uses already exist at or near this intersection and don't reflect the intent behind the Mixed Use Main Street designation. Similarly, this area should not be overrun by stand-alone drive-throughs or convenience uses. One gas station or single drive-through—designed to blend into the site with features like outdoor seating—might make sense, but any additional drive-throughs should be part of a larger, multi-tenant retail building that supports a mix of uses and more sustainable activity.

We also urge attention to design. This site should reflect the surrounding desert aesthetic and community identity. The architecture should complement the look and feel of the existing neighborhoods, with coordinated materials and earth-toned colors. We've seen what happens when this is overlooked—the white-box Starbucks currently under construction in the Marketplace stands out in a way that doesn't feel cohesive with the area.

The corner itself should be treated as more than just a traffic intersection. A plaza, landscaped

entry feature, or public space would go a long way in turning this into a community asset—much like what has been done at other key intersections across Peoria. Finally, we strongly encourage continuing the use of the Camino á Lago name as part of this development’s identity. Nearby areas like Casa Del Rey at Camino á Lago and The Meadows at Camino á Lago have done so, and it helps tie the area together and strengthen its sense of place.

This development represents a major milestone in the buildout of our community. We’re not opposed to growth—in fact, we welcome it when done thoughtfully and with the neighborhood in mind. We’re simply asking that this project be planned in a way that respects the intent of the General Plan and enhances the overall quality and identity of Camino á Lago.

Thank you for considering this input and for your continued work on behalf of Peoria residents.

Sincerely,  
Christine Cook  
Casa Del Rey

From: [REDACTED]  
To: [Cody Gleason](#)  
Subject: Lake Pleasant Parkway and Deer Valley  
Date: Wednesday, June 11, 2025 4:03:51 PM

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This email arrived from an external source. Please exercise caution when opening attachments or clicking on links.

Dear Mayor and Councilmembers,

We are writing as proud residents of this area of north Peoria to respectfully express our expectations for the development of the final major commercial corner within our neighborhood, located at the northeast intersection of Lake Pleasant Parkway and **Deer Valley Road**.

According to the City's General Plan, this site is designated **Mixed Use Main Street**, intended to serve as a vibrant, walkable blend of housing, commerce, and civic life. This designation is especially important here, at the heart of Camino á Lago, where the area is surrounded by the highest residential densities and growing daily traffic volumes. Recent traffic counts indicate approximately **13,346 vehicles per day on Deer Valley Road** and **21,429 on Lake Pleasant Parkway**, showing clear market support for meaningful commercial development.

### **Mixed Use Main Street Intent**

The General Plan outlines key principles for Mixed Use Main Street areas, including:

- Walkable urban environments with storefront retail and office uses at street level, and residential above.
- Development that promotes a strong identity and sense of place through themed architecture, pedestrian-friendly design, public spaces, and civic uses.
- Integration of diverse uses, including multi-family housing, restaurants, small businesses, and gathering spaces such as plazas or parklets.
- Architectural quality, connectivity, and internal cohesion across parcels.

### **Community Expectations for Rezoning and Site Planning**

We respectfully request that any future rezoning or site plans for this area reflect the following priorities:

#### **1. Integration of Residential and Commercial**

- Residential must be connected to commercial through walkable paths and internal pedestrian access.
- Inclusion of residential amenities (e.g., community pool) is important, consistent with surrounding communities such as The Meadows and Casa Del Rey.

#### **2. Commercial Use Limitations**

- Prohibit uses inconsistent with the General Plan vision: **no car washes, smoke shops, auto repair, or storage**, which are already present at this intersection and the storage is less than a mile to the north.
- Limit stand-alone convenience uses:

- o Allow **only one** major drive-through or gas station, preferably oriented to the corner in a community-sensitive way (e.g., rear-facing pumps or integrated patio dining).
- o Additional drive-throughs should be **end-cap only**, with required co-tenancy (e.g., two other retail or restaurant tenants per drive-through).
- o A gas station, a car wash and two stand-alone drive throughs are not appropriate in a Main Street are and at the last parcel in our community (in proximity to higher density residential)

### 3. Architectural Cohesion

- Commercial and residential architecture must share cohesive materials, colors, and wall design that blend with surrounding neighborhoods—not stark, modern tones like black, blue, and gray that clash with the community’s desert character.
- Future buildings should avoid mismatches like the current white-box Starbucks at the Marketplace, which undermines center cohesion.

### 4. Corner Identity and Design

- The hard corner at Lake Pleasant Parkway should feature a **plaza, entry monument, or public space**, drawing inspiration from intersections like Lake Pleasant & Happy Valley or El Mirage & Lone Mountain.
- We ask that the project retain and promote the **Camino á Lago** name throughout all components, reinforcing community identity and unity as done with nearby developments like Casa Del Rey at Camino á Lago and The Meadows at Camino á Lago.

### Final Thoughts

This location is the **final and most visible opportunity** to complete the vision for our community. We are not opposed to development; in fact, we welcome thoughtful growth. We simply ask that you and the development team honor the vision laid out in the City’s General Plan and respect the character and aspirations of the residents who live here.

Thank you for your time and thoughtful consideration.

Sincerely,

Theresa Seward  
Ironwood Community HOA homeowner and Board Member

From: [REDACTED]  
To: [Jon Edwards](#); [Rick Stokes](#); [Cody Gleason](#); [Jon Edwards](#); [Peoria Mayor](#)  
Subject: Lake Pleasant Parkway and Deer Valley Road  
Date: Thursday, September 18, 2025 7:36:55 PM

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This email arrived from an external source. Please exercise caution when opening attachments or clicking on links.

**Dear Mayor and Councilmembers,**

We are writing as proud residents of this area of north Peoria to respectfully express our expectations for the development of the final major commercial corner within our neighborhood, located at the northeast intersection of Lake Pleasant Parkway and Deer Valley Road.

This parcel is currently designated **Mixed Use Main Street** in the City's General Plan, recently approved by Peoria voters. That designation was meant to ensure a **walkable, vibrant, community-oriented development** with retail, restaurants, and gathering spaces that serve as the heart of Camino á Lago.

The developer's request for a **General Plan Amendment** to allow another gas station, two additional drive-throughs, and no enhancements at the corner directly undermines the voter-approved vision.

It should be noted that Council already approved higher-density residential nearby with the understanding that the added density would bring **sit-down restaurants, retail, and walkable amenities** – not more car washes, gas stations, and stand-alone drive-throughs.

We ask that the City Council:

- Deny the General Plan Amendment request for the retail portions of the development. Only allow a General Plan Amendment for portions of the site related to single-family development.
- Require development that honors the intent of Mixed Use Main Street at the hard corner of Deer Valley and Lake Pleasant Parkway.
- Ensure the corner reflects walkability, community identity, and fewer auto-oriented uses.

We ask that future planning include true integration between the residential and commercial components. Sidewalks, pathways, and other pedestrian features should be emphasized so residents and customers can move easily throughout the site. If residential is included, it should reflect the amenity standards of nearby high-density neighborhoods like The Meadows and Casa Del Rey, which both offer features such as pools and communal spaces for their residents.

As for the commercial portion, certain uses would be out of place here. We ask that the City avoid approving businesses like car washes, auto repair, smoke shops, and storage facilities. These uses already exist at or near this intersection and don't reflect the intent behind the Mixed Use Main Street designation. Similarly, this area should not be overrun by stand-alone drive-throughs or convenience uses. One gas station or single drive-through—designed to blend into the site with features like outdoor seating—might make sense, but any additional drive-throughs should be part of a larger, multi-tenant retail building that supports a mix of uses and more sustainable activity.

We also urge attention to design. This site should reflect the surrounding desert aesthetic and community identity. The architecture should complement the look and feel of the existing neighborhoods, with coordinated materials and earth-toned colors. We've seen what happens when this is overlooked—the white-box Starbucks currently under construction in the Marketplace stands out in a way that doesn't feel

cohesive with the area.

This is the final and most visible commercial opportunity in our neighborhood. We are not opposed to growth; we welcome it. But it must be **thoughtful growth** that respects the General Plan, the character of Camino á Lago, and the expectations of the residents who live here.

Thank you for your time and thoughtful consideration.

**Sincerely,**

Theresa and Harold Seward

A black rectangular redaction box covering the signature of Theresa and Harold Seward.

From: [Chris Jacques](#)  
To: [Elias Valencia](#)  
Subject: FW: Lake pleasant & Deer Valley  
Date: Tuesday, September 23, 2025 12:45:10 PM

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Here is another one.

**Chris M. Jacques, AICP**

Planning Director  
Planning & Community Development Department  
City of Peoria, AZ  
P 623.773.7609  
[chris.jacques@peoriaaz.gov](mailto:chris.jacques@peoriaaz.gov)

Office schedule: Monday - Thursday



Please consider the environment before printing this e-mail.



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**From:** Tyler Mastin <[tyler.mastin@peoriaaz.gov](mailto:tyler.mastin@peoriaaz.gov)>  
**Sent:** Tuesday, September 23, 2025 12:32 PM  
**To:** Chris Jacques <[Chris.Jacques@peoriaaz.gov](mailto:Chris.Jacques@peoriaaz.gov)>; Lorie Dever <[Lorie.Dever@peoriaaz.gov](mailto:Lorie.Dever@peoriaaz.gov)>  
**Cc:** Austin Roe <[austin.roe@peoriaaz.gov](mailto:austin.roe@peoriaaz.gov)>  
**Subject:** Fw: Lake pleasant & Deer Valley

Good afternoon,

Attached is an email to the Mayor from a citizen commenting on the development in the North Peoria area. I wanted to make sure, if you hadn't already heard from the citizen, that their comment was noted with Planning.

Let me know if you know if you have any additional questions.

Thanks!

**Tyler Mastin** | Assistant to the Mayor  
Office of Mayor Jason Beck  
[Tyler.Mastin@peoriaaz.gov](mailto:Tyler.Mastin@peoriaaz.gov)

---

**From:** Ashley Torres <[REDACTED]>

**Sent:** Sunday, September 21, 2025 3:38 PM

**To:** Peoria Mayor <[Mayor@peoriaaz.gov](mailto:Mayor@peoriaaz.gov)>

**Subject:** Lake pleasant & Deer Valley

⚠ ⚠ This email arrived from an external source. Please exercise caution when opening attachments or clicking on links. ⚠ ⚠


Please do not allow the building of more gas stations and car washes in the lot. It was promised to be a vibrant community area. Our children have to ride bikes to school and that intersection is already dangerous.

Ashley Torres

[REDACTED]

Peoria, AZ 85383

[REDACTED]

From:   
To: [Cody Gleason](#)  
Cc: [Elias Valencia](#)  
Subject: Re: The Shoppes & The Cove @ Camino-A-Lago Neighborhood Meeting  
Date: Monday, October 6, 2025 3:13:34 PM

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This email arrived from an external source. Please exercise caution when opening attachments or clicking on links.

Thank you for the response. We are 100% against a lower priced density community being placed right at our doorstep here at the meadows. This is not what Peoria is about and this rezoning should not be allowed to pack more homes into such a small and highly traveled intersection. I hope our City staff and Council will also see this as being similar to adding apartments. I'm appalled that we have to deal with this and especially with Lennar homes who has a wealth of complaints as a developer and builder.

Thank You

On Mon, Oct 6, 2025 at 2:00 PM Cody Gleason <[Cody.Gleason@peoriaaz.gov](mailto:Cody.Gleason@peoriaaz.gov)> wrote:

All,

You are receiving this email as you have been added to the interested parties list for the proposed development called The Shoppes and The Cove at Camino-A-Lago (Case #s GPA25-06 & Z25-12) as a result of correspondence you provided about the case.

Please be aware that the applicant will be holding their required neighborhood meeting as identified below. Within the link below, is the letter that the applicant mailed to property owners within 600 feet and HOAs within 1 mile. You can find information about this meeting on the [Neighborhood Meeting Calendar](#) as well. This meeting is intended as an opportunity for the applicant to discuss their proposal with surrounding property owners and address any questions or concerns.

Contained below is the information for the Neighborhood Meeting:

**Date and Time:**

October 15, 2025, 5:30 p.m.

**Location:**

Sunrise Mountain Library  
21109 N 98th Ave, Peoria, AZ 85382

**Project Number and Description:**

GPA25-06, Z25-12 The Shoppes and The Cove at Camino A Lago

The applicant has submitted two companion applications to 1) Change the General Plan land use designation and 2) Change the zoning district for the subject site to allow for the development of a residential subdivision and associated commercial center.

1. Minor General Plan Amendment (GPA25-06) to change the General Plan Land Use designation from Mixed Use Main Street to Mixed Use Neighborhood Village.
2. Rezoning Request (Z25-12). A request to rezone the property from General Agricultural (AG) to Planned Area Development (PAD), to will allow for approximately 5 acres of commercial development consisting of multiple drive through uses and commercial pad buildings and approximately 14 acres of single family residential to accommodate 106 approximately 3,000 square foot lots.

[See Flyer for More Information](#)

**Staff Contact:** Elias Valencia – 623-773-5044 or [Elias.Valencia@peoriaaz.gov](mailto:Elias.Valencia@peoriaaz.gov)

Should you have any further questions or like to discuss the proposal further please contact Elias Valencia.

Thank you for your time.

**Cody Gleason, MBA, AICP**

Planning Manager

623-773-7645

[Cody.Gleason@peoriaaz.gov](mailto:Cody.Gleason@peoriaaz.gov)

**City of Peoria | Planning Department**

9875 N. 85th Avenue, Peoria, AZ 85345

Monday through Thursday, 7am to 6pm | **Closed Friday**

[Peoriaaz.gov/planning](http://Peoriaaz.gov/planning)

From: [Cody Gleason](#)  
To: [Elias Valencia](#); [Cody Gleason](#)  
Subject: FW: The Cove at Camino a Logo(Cases#GPA25-06 and Z25-12)  
Date: Monday, October 6, 2025 12:16:16 PM

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Thank you for your time.

### **Cody Gleason, MBA, AICP**

Planning Manager

623-773-7645

[Cody.Gleason@peoriaaz.gov](mailto:Cody.Gleason@peoriaaz.gov)

#### **City of Peoria | Planning Department**

9875 N. 85th Avenue, Peoria, AZ 85345

Monday through Thursday, 7am to 6pm | **Closed Friday**

[Peoriaaz.gov/planning](http://Peoriaaz.gov/planning)

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**From:** Mike [REDACTED]  
**Sent:** Monday, October 6, 2025 8:05  
**To:** [jhall@roselawgroup.com](mailto:jhall@roselawgroup.com) <[jhall@roselawgroup.com](mailto:jhall@roselawgroup.com)>  
**Cc:** Elias Valencia <[elias.valencia@peoriaaz.gov](mailto:elias.valencia@peoriaaz.gov)>; Peoria Mayor <[mayor@peoriaaz.gov](mailto:mayor@peoriaaz.gov)>; Jon Edwards <[Jon.Edwards@peoriaaz.gov](mailto:Jon.Edwards@peoriaaz.gov)>  
**Subject:** The Cove at Camino a Logo(Cases#GPA25-06 and Z25-12)

**⚠ ⚠ This email arrived from an external source. Please exercise caution when opening attachments or clicking on links. ⚠ ⚠**

I am writing on behalf of concerned homeowners in The Meadows community regarding the proposed Lennar Homes development adjacent to our neighborhood. Based on the preliminary information available, it appears this project proposes a dense cluster of approximately 110 homes of substantially lower value than those within our established community.

Our concerns are significant and multifaceted:

#### **1. Community Impact and Property Values**

The proposed home types and density appear inconsistent with the character and quality of The Meadows. Developments of this type frequently attract investors rather than owner-occupants, often leading to rental-heavy neighborhoods that resemble apartment complexes more than single-family communities. This will almost certainly devalue surrounding properties and diminish the stability and

integrity of our area.

## **2. Infrastructure and Safety**

Our existing infrastructure—particularly at the intersection near Walmart—is already strained and prone to frequent traffic incidents. The addition of 150–200 more vehicles will further burden this area and increase safety risks. Likewise, Speckled Gecko Drive is not designed to handle additional traffic volume and should not be used for access to or from the proposed development.

## **3. Schools and Community Resources**

Local schools are currently at or near capacity. The addition of over 100 homes, with an estimated 150–200 additional children, would overwhelm an already stressed school system.

## **4. Noise and Construction Impacts**

Our community expects full compliance with all local noise ordinances and work-hour restrictions. We intend to monitor construction noise and environmental conditions to ensure adherence to Maricopa County Air Quality and ADEQ requirements. Given Lennar’s documented compliance issues in other jurisdictions, we will be particularly vigilant in ensuring that all construction activity follows applicable laws and regulations.

This site should be considered for commercial or business use only. Introducing a large volume of lower-value homes adds no benefit to the community and instead brings measurable risk to existing residents and property owners.

Please provide detailed responses to the following items:

- Total number of homes to be built
- Anticipated value range of each home type
- Planned access points, including any impact to Speckled Gecko Drive
- Construction start and completion schedule
- Anticipated duration of daily construction activities and permitted work hours
- HOA and maintenance requirements for the proposed community

While I will not be attending public meetings on this issue, I will ensure all relevant information is shared transparently with The Meadows community and with the appropriate city and regulatory agencies. Should this development move forward in its current form, we will consider all legal avenues to protect our community’s interests and property values.

Thank you for your attention to this matter. I look forward to your prompt and detailed response.

Sincerely,

Homeowner, The Meadows Community

From: [Jennifer Hall](#)  
To: [REDACTED]; [Jon Edwards](#); [Peoria Mayor](#); [Elias Valencia](#); [REDACTED]  
Cc: [Jennifer Hall](#)  
Subject: RE: The Cove at Camino a Logo(Cases#GPA25-06 and Z25-12)  
Date: Thursday, October 9, 2025 2:17:00 PM  
Attachments: [image001.png](#)  
[image002.png](#)  
[image003.png](#)

---

This email arrived from an external source. Please exercise caution when opening attachments or clicking on links.

Thank you for your thorough comments. I can assure you that your research and summary will be shared with our entire project team.

**Jennifer Hall**  
Senior Project Manager



7144 E Stetson Drive, Suite 300, Scottsdale, AZ 85251  
Direct: 480.505.3938 F: 480.505.3925 Mobile: [602.369.0810](tel:602.369.0810)

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 Think green, please don't print unnecessarily

**From:** Mike [REDACTED]  
**Sent:** Thursday, October 9, 2025 2:07 PM  
**To:** Jennifer Hall <JHall@roselawgroup.com>; Jon Edwards <Jon.Edwards@peoriaaz.gov>; mayor@peoriaaz.gov; elias.valencia@peoriaaz.gov; [REDACTED]  
**Subject:** Re: The Cove at Camino a Logo(Cases#GPA25-06 and Z25-12)

**Thank you for the response, below i have summarized some key points and did some research on Lennar:**

### **1. Community Impact and Property Values**

While Lennar promotes itself as a “top builder,” public record and consumer data paint a different picture. Numerous consumer reviews, BBB complaints, and documented construction issues contradict the claim of “exceptional quality.” Citing a single community (Acacia Grove) as representative of Lennar’s overall quality and fit ignores the distinct differences in demographics, architectural character, and price points between that area and The Meadows.

The proposed product — alley-loaded, high-density homes — does not align with The Meadows’ established character of large-lot, higher-value, owner-occupied homes. Suggesting that lower-priced housing “blends” because it falls between two neighborhoods’ values overlooks the cumulative effect of perception and resale value. Homes priced \$100K–\$200K lower directly adjacent to The Meadows will inevitably influence nearby appraisal values and market expectations, particularly when investor ownership is likely.

---

### **2. Infrastructure and Safety**

While the developer emphasizes reduced *density* relative to the existing General Plan designation, that argument is misleading. “Reduced density” only compares this proposal to a hypothetical *maximum-intensity* use that was never planned, funded, or approved. The practical concern remains: the addition of 100+ homes introduces hundreds of daily trips onto roads already at capacity and known for traffic incidents.

Further, while completing the “south half” of Speckled Gecko may improve one roadway, it also extends the corridor for through traffic — funneling additional vehicles closer to The Meadows’ entrances. The promise of “helping with traffic flow” primarily benefits the developer’s site access, not existing residents’ congestion or safety concerns. The community also wants to have in place no access to this development from speckled Gecko to help reduce additional traffic in the community and reduce safety concerns.

---

### **3. Schools and Community Resources**

Reducing the *maximum theoretical density* does not guarantee minimal school impact. The fact remains that over 100 new homes will introduce a measurable increase in student population. Statements such as “Lennar will work with PUSD to ensure no negative impacts” are vague and unenforceable. Without a formal mitigation plan, funding commitment, or capacity analysis from the district, the impact remains unaddressed. Please feel free to contact the principals at both Liberty Highschool and Sunset Heights about capacity issues.

---

#### 4. Noise and Construction Impacts

While Lennar asserts it is “reputable” and compliant, that statement conflicts with numerous public records across several states documenting construction-related complaints, including workmanship, warranty, and safety issues. The community’s insistence on monitoring compliance with all Maricopa County Air Quality and ADEQ regulations is not adversarial — it is responsible oversight, especially given the proximity to established neighborhoods and sensitive properties. I'm sure Lennar has great policies in place for these regulations after reading the Ninth Circuit Court decisions.

---

#### 5. Land Use and Long-Term Compatibility

The argument that “commercial development would generate more traffic” is speculative and mischaracterizes the issue. The community’s position is not that *any* commercial use is preferable, but that **the current site should serve a higher-value or employment-generating purpose**, consistent with the intent of a Mixed-Use designation — not dense, lower-priced residential units. Commercial use would not require access to Speckled Gecko and thus reduce traffic into the community and require a sound wall along the property to help mitigate noise and lighting issues.

Residential development of this nature reduces long-term economic diversity, increases transient population turnover, and provides minimal contribution to the tax base relative to its service demands. “Different” is not inherently “better” — compatibility, quality, and sustained community value should drive approval decisions, not developer convenience or profit optimization.

---

### Summary

In short, while the developer frames their proposal as a “reduction” from a hypothetical maximum and a “blend” with adjacent areas, the reality is this:

- The product type and price point are **inconsistent** with The Meadows and will **devalue** adjacent homes.
- The proposal **adds traffic** and **compromises safety**, regardless of reduced theoretical density.
- School and infrastructure impacts remain **unaddressed** in practical terms.

- Lennar’s quality and compliance record **does not warrant blind trust.**
- The community’s request for commercial or business-oriented development aligns **more closely with the City’s long-term economic goals** than this residential proposal.

I will continue to advocate for a better project—one that truly fits this area. I understand that Mr. Gunderson wants to move forward with another development, and I can appreciate that; however, this community was built with specific guidelines, and any new project should meet or exceed those established standards.

Thank You

Mike Steg

On Wed, Oct 8, 2025 at 8:22 AM Jennifer Hall <[JHall@roselawgroup.com](mailto:JHall@roselawgroup.com)> wrote:

Thank you, Mike!

We did send the attached Notification letter along with sample home designs proposed by Lennar to The Meadows HOA Management; however, I will make sure to reach out to Jeanne via email to open the line of communication.

Project Details:

The site is currently designated by Peoria’s General Plan as “**Mixed Use – Main Street**” which creates a destination and calls for a large anchor tenant surrounded by more commercial with residential on top to create a vertical mixed use destination which could allow apartments. We are proposing to amend the land use designation to “**Mixed Use – Neighborhood Village**” which will allow us to develop a less intense horizontal mixed use project with commercial fronting Lake Pleasant Parkway (LPP) integrating into single family homes on the eastern portion of the site. We are requesting a PAD (Planned Area Development) that will create synergy between the proposed C-2 commercial retail uses and the proposed R1-6 residential homes using vehicular and pedestrian connectivity. The main entrance from LPP will create a sense of arrival with a grand median lined with palm trees. The entrance leads you through the middle of commercial plaza to be known as “The Shoppes at Camino a Lago” offering on-street angled parking to a landscaped round-about that borders a large green open space park area which will be a part of the new residential community (approx. 105 for sale homes known as “The Cove at Camino a Lago”). We are encouraging walkability between the uses by adding shade trees, ample meandering sidewalks, crosswalks, and bench seating areas by open space areas.

Our team recently received staff's 1<sup>st</sup> review comments so we are working on revisions to the conceptual layout (ie adding a community pool, widening sidewalks, adding more pedestrian crosswalks and shade structures). We are also working with staff on the permitted use list as we have heard that there are certain uses (i.e. car wash, smoke shops) that are not wanted by the community. Please know we are just in the beginning of this process and welcome you and your neighbor's feedback to make this a great addition to the well-established **Camino a Lago** community.

Responses below in *italics* to some of your specific questions:

### 1. **Community Impact and Property Values**

The proposed home types and density appear inconsistent with the character and quality of The Meadows. Developments of this type frequently attract investors rather than owner-occupants, often leading to rental-heavy neighborhoods that resemble apartment complexes more than single-family communities. This will almost certainly devalue surrounding properties and diminish the stability and integrity of our area.

*Lennar is the Top homebuilder in Arizona and is well known for their exceptional quality. This site has been envisioned by the City as Mixed Use so Lennar is proposing a single family housing product that will blend with commercial/retail. The proposed alley-loaded homes will offer a new type of housing product to the area as to not oversaturate or compete with existing homes in The Meadows neighborhood. In order to fully understand what is being proposed - please check out some of the google street views for **Acacia Grove at Vistancia**. **Acacia Grove** is a beautiful, pedestrian activated community built by Lennar that blends seamlessly with surrounding larger lots. The projected home prices will be mid \$400K to mid \$500K which falls in between the homes on the west side of LPP and The Meadows to the east of the site.*

### 2. **Infrastructure and Safety**

Our existing infrastructure—particularly at the intersection near Walmart—is already strained and prone to frequent traffic incidents. The addition of 150–200 more vehicles will further burden this area and increase safety risks. Likewise, Speckled Gecko Drive is not designed to handle additional traffic volume and should not be used for access to or from the proposed development.

- *The site is bounded on 3 sides by streets: Speckled Gecko, LPP and Deer Valley with a large open space trail on the east buffering The Meadows neighborhood. The existing General Plan designation **Mixed Use Main Street** which allows for intense commercial uses and high density residential with density “in excess of 12-20 dwelling units per acre”. Our proposal is requesting to actually reduce the density and the*

*intensity of the site by offering 6 acres of commercial combined with residential density of 6 dwelling units per acre which matches the density on the west side of LPP. The **Mixed Use Neighborhood Village** designation that we are asking for typically contains density between 12-20 dwelling units per acre but encourages lower residential densities to be used as a transition with adjacent lower intense residential neighborhoods which is what we are proposing. Approval of this amendment to the General Plan will ultimately result in a decrease in the amount of traffic that will be generated at this site. The current land use designation **Mixed Use Main Street** allows more intensity and more density which generates MORE trips per day than the proposed **Mixed Use Neighborhood Village** designation.*

*The main entrance into the commercial/retail will be from Lake Pleasant Parkway with 2 access points on both Speckled Gecko and one access on Deer Valley. Regardless of our project - the city is doing an improvement project that will add south bound LPP traffic going east on Speckled Gecko. IF our project is approved we will be completing the south ½ of Speckled Gecko with our development as only the north ½ street is constructed today so this will also help with traffic flow!*

### **3. Schools and Community Resources**

Local schools are currently at or near capacity. The addition of over 100 homes, with an estimated 150–200 additional children, would overwhelm an already stressed school system.

*This proposal decreases the density allowed on the site today which means decreases the number of new homes. Also, Lennar will work with PUSD to ensure no negative impacts to the district.*

### **4. Noise and Construction Impacts**

Our community expects full compliance with all local noise ordinances and work-hour restrictions. We intend to monitor construction noise and environmental conditions to ensure adherence to Maricopa County Air Quality and ADEQ requirements. Given Lennar’s documented compliance issues in other jurisdictions, we will be particularly vigilant in ensuring that all construction activity follows applicable laws and regulations.

*Lennar is a reputable local home builder who will abide by all noise and construction regulations.*

This site should be considered for commercial or business use only. Introducing a large volume of lower-value homes adds no benefit to the community and instead brings measurable risk to existing residents and property owners.

*Developing this site entirely as commercial or business use only will generate MORE traffic than the proposed use. The proposed housing community adds a new*

*and different housing product to this well-established area with price points ranging from mid \$400K – mid \$500K. Please google Acacia Grove at Vistancia as reference.*

Happy to provide you with additional information as we move through this process and thank you for reaching out!

**Jennifer Hall**

Senior Project Manager



7144 E Stetson Drive, Suite 300, Scottsdale, AZ 85251

Direct: 480.505.3938 F: 480.505.3925 Mobile: [602.369.0810](tel:602.369.0810)

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---

**From:** Mike [REDACTED]

**Sent:** Monday, October 6, 2025 4:47 PM

**To:** Jennifer Hall <[JHall@roselawgroup.com](mailto:JHall@roselawgroup.com)>

**Cc:** [elias.valencia@peoriaaz.gov](mailto:elias.valencia@peoriaaz.gov); [mayer@peoriaaz.gov](mailto:mayer@peoriaaz.gov); [Jon.Edwards@peoriaaz.gov](mailto:Jon.Edwards@peoriaaz.gov)

**Subject:** Re: The Cove at Camino a Logo(Cases#GPA25-06 and Z25-12)

Please ensure that Jeanne Stockard is copied on any correspondence regarding the project you wish to pursue. Jeanne manages the HOA for The Meadows and was not aware of this project or the upcoming meeting.

The HOA Board has now been notified, and we all share significant concerns regarding the project and the proposed rezoning. Jeanne can be reached at [REDACTED] or [REDACTED] for further communication.

We will also be sharing this information through social media and other community channels to encourage strong resident turnout in opposition to the project.

Thank you,

On Mon, Oct 6, 2025 at 8:15 AM Jennifer Hall <[JHall@roselawgroup.com](mailto:JHall@roselawgroup.com)> wrote:

Thank you for your email. Sorry to hear you will not be able to attend the open house meeting; however, I will prepare all of the information you requested and send it shortly. Thanks!

**Jennifer Hall**

Senior Project Manager



7144 E Stetson Drive, Suite 300, Scottsdale, AZ 85251

Direct: 480.505.3938 F: 480.505.3925 Mobile: [602.369.0810](tel:602.369.0810)

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---

**From:** Mike [REDACTED]  
**Sent:** Monday, October 6, 2025 8:06 AM  
**To:** Jennifer Hall <[JHall@roselawgroup.com](mailto:JHall@roselawgroup.com)>  
**Cc:** [elias.valencia@peoriaaz.gov](mailto:elias.valencia@peoriaaz.gov); [mayor@peoriaaz.gov](mailto:mayor@peoriaaz.gov); [Jon.Edwards@peoriaaz.gov](mailto:Jon.Edwards@peoriaaz.gov)  
**Subject:** The Cove at Camino a Logo(Cases#GPA25-06 and Z25-12)

I am writing on behalf of concerned homeowners in The Meadows community regarding the proposed Lennar Homes development adjacent to our neighborhood. Based on the preliminary information available, it appears this project proposes a dense cluster of approximately 110 homes of substantially lower value than those within our established community.

Our concerns are significant and multifaceted:

**1. Community Impact and Property Values**

The proposed home types and density appear inconsistent with the character and quality of The Meadows. Developments of this type frequently attract investors rather than owner-occupants, often leading to rental-heavy neighborhoods that resemble apartment complexes more than single-family communities. This will almost certainly devalue surrounding properties and diminish the stability and integrity of our area.

**2. Infrastructure and Safety**

Our existing infrastructure—particularly at the intersection near Walmart—is already strained and prone to frequent traffic incidents. The addition of 150–200 more vehicles will further burden this area and increase safety risks. Likewise, Speckled Gecko Drive is not designed to handle additional traffic volume and should not be used for access to or from the proposed development.

**3. Schools and Community Resources**

Local schools are currently at or near capacity. The addition of over 100 homes, with an estimated 150–200 additional children, would overwhelm an already stressed school system.

**4. Noise and Construction Impacts**

Our community expects full compliance with all local noise ordinances and work-hour restrictions. We intend to monitor construction noise and environmental

conditions to ensure adherence to Maricopa County Air Quality and ADEQ requirements. Given Lennar's documented compliance issues in other jurisdictions, we will be particularly vigilant in ensuring that all construction activity follows applicable laws and regulations.

This site should be considered for commercial or business use only. Introducing a large volume of lower-value homes adds no benefit to the community and instead brings measurable risk to existing residents and property owners.

Please provide detailed responses to the following items:

- Total number of homes to be built
- Anticipated value range of each home type
- Planned access points, including any impact to Speckled Gecko Drive
- Construction start and completion schedule
- Anticipated duration of daily construction activities and permitted work hours
- HOA and maintenance requirements for the proposed community

While I will not be attending public meetings on this issue, I will ensure all relevant information is shared transparently with The Meadows community and with the appropriate city and regulatory agencies. Should this development move forward in its current form, we will consider all legal avenues to protect our community's interests and property values.

Thank you for your attention to this matter. I look forward to your prompt and detailed response.

Sincerely,

Homeowner, The Meadows Community



**City of Peoria**

**PLANNING DEPARTMENT**

9875 North 85<sup>th</sup> Avenue  
Peoria, Arizona 85345  
T 623-773-7200  
*planning@peoriaaz.gov*

## Memorandum

**Meeting Date:** February 19, 2026

**To:** Peoria Planning and Zoning Commission

**From:** Cody Gleason, AICP, Planning Manager

**Re:** Items 3R & 4R – The Shoppes and The Cove at Camino-A-Lago  
(GPA25-06 & Z25-12)

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Attached is a follow-up correspondence from citizens that was received subsequent to the printing of the February 19, 2026 Planning and Zoning Commission packet.



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# W.M. GRACE COMPANIES

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SINCE 1966

February 6, 2026

City of Peoria  
8401 W. Monroe St.  
Peoria, AZ 85345

**RE: The Shoppes and The Cove at Camino A Lago (Case #GPA25-06 and #ZN25-12)**

Dear Mayor Beck, City Council, and Planning & Zoning Commission Members:

Please accept this letter in support of the proposed mixed use project known as “The Shoppes and The Cove at Camino A Lago” on the northeast corner of Deer Valley Road and Lake Pleasant Parkway.

Our organization owns and operates the Camino A Lago Marketplace, a nearly 60-acre commercial project directly south of this site. As a longstanding commercial landowner and one of the largest operators in this area of Peoria, we have seen firsthand the demographic changes and evolution of consumer habits for our business. Specifically, Camino A Lago Marketplace has been serving this community for over two decades and despite Peoria’s population nearly doubling over this span, our commercial spaces have still yet to be fully occupied. We have found that retail shops in particular are struggling because this area of the city did not turn out to be the commercial hub that the city had once envisioned it to be. These market conditions, as a result, recently forced us to replace some commercial space at the Marketplace with residential components.

Knowing that we have had to recently roll back the intensity of commercial businesses directly south of this site, we wholeheartedly agree that reducing the amount of commercial on the site north is completely justified. The site’s design leaves the right-sized amount of commercial along Lake Pleasant Parkway and connects it with a new housing product. Having the walkability component present at this site would serve as a differentiator for the commercial offerings along Lake Pleasant Parkway by making those businesses more convenient, and thus more attractive, to adjacent residents. This setup would create an appropriate balance of uses in this commercially fatigued area to maximize benefits for our site as well as the entire area.

Furthermore, The Shoppes and The Cove at Camino A Lago is designed and will be developed by 2 local and reputable companies - Lennar Homes and The Barclay Group. Rest assured that this project will be developed with the highest quality and standards just like all of their other projects throughout Arizona!

We strongly encourage you to approve this project!

Respectfully,



Tom Grace, Vice President  
*W.M. Grace Companies*  
6925 E. Indian School Rd  
Scottsdale, AZ 85251

**From:** [REDACTED]  
**To:** [Rick Stokes](#); [Cody Gleason](#)  
**Subject:** The Shoppes and The Cove at Camino a Lago (GPA06-25 and Z25-12)  
**Date:** Thursday, February 12, 2026 8:46:14 PM

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Dear Councilman Stokes,

We are proud constituents that live in the area near Camino a Lago Marketplace. After learning more about the Mixed Use proposal on the corner of Lake Pleasant Parkway and Deer Valley, we are supporters of this project. This parcel has sat vacant for many years and it is exciting to learn that 2 local companies have teamed up to develop a true Mixed Use project. Additional shops and retail along Lake Pleasant are a welcomed addition to the area, along with a new diverse housing built by Lennar Homes. Being retired ourselves, we understand that not everyone wants large lot homes with sizeable backyards, and smaller lots actually reduces owner maintenance. Also, these are really nice looking homes!

We are unable to attend the upcoming public hearings, but strongly encourage you to approve this project. This Mixed Use development is compatible with the surrounding uses and will fill a vacant parcel with shops and homes that will complement our community!

Thank you for your continued service to our city!

Louise and Andy Moody

[REDACTED]

**From:** [REDACTED]  
**To:** [Jon Edwards](#); [Cody Gleason](#)  
**Subject:** The Shoppes and The Cove at Camino a Lago (GPA06-25 and Z25-12)  
**Date:** Thursday, February 12, 2026 8:36:21 PM

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Dear Councilman Edwards,

We are proud residents that live in the area near Camino a Lago Marketplace. After learning more about the Mixed Use proposal on the corner of Lake Pleasant Parkway and Deer Valley, we are supporters of this project. This parcel has sat vacant for many years and it is exciting to learn that 2 local companies have teamed up to develop a true Mixed Use project. Additional shops and retail along Lake Pleasant are a welcomed addition to the area, along with a new diverse housing built by Lennar Homes. Being retired ourselves, we understand that not everyone wants large lot homes with sizeable backyards, and smaller lots actually reduces owner maintenance. Also, these are really nice looking homes!

We are unable to attend the upcoming public hearings, but strongly encourage you to approve this project. This Mixed Use development is compatible with the surrounding uses and will fill a vacant parcel with shops and homes that will complement our community!

Thank you for your continued service to our city!

Louise and Andy Moody  
[REDACTED]

**From:** [Jennifer Hall](#)  
**To:** [Cody Gleason](#); [Chris Jacques](#)  
**Cc:** [Jennifer Hall](#); [Alex Hosmar](#); [Tom Galvin](#)  
**Subject:** FW: The Shoppes and The Cove at Camino a Lago (GPA06-25 and Z25-12)  
**Date:** Tuesday, February 17, 2026 5:05:32 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)

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Cody – another support email below. Please add to the case file. We will bring print outs for the PZC members. Thx.

### Jennifer Hall

Assistant Director of Land Development Solutions



7144 E Stetson Drive, Suite 300, Scottsdale, AZ 85251  
Direct: 480.505.3938 F: 480.505.3925 Mobile: [602.369.0810](tel:602.369.0810)

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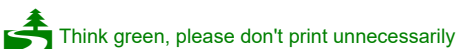


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---

**From:** Kyle and Mandy Wooten [REDACTED]

**Sent:** Tuesday, February 17, 2026 4:52 PM

**To:** [Jon.edwards@peoriaaz.gov](mailto:Jon.edwards@peoriaaz.gov)

**Subject:** The Shoppes and The Cove at Camino a Lago (GPA06-25 and Z25-12)

Dear Councilman Edwards and City Staff,

We have lived in a neighborhood west of the proposed development area for 1 year and have been watching the vacant corner at Deer Valley and Lake Pleasant wondering what type of commercial space was going to be placed there. After learning Lennar purchased the property from State Land we were interested to hear their proposal. Initially, we thought Lennar was going to get rid of all the commercial and just build homes; however, we are pleasantly surprised that they are leaving commercial along Lake Pleasant Parkway.

As a family with two teenagers, we're excited about more entry level job opportunities within close proximity to the high school and our home. Just north at the corner of Happy Valley and Lake Pleasant Parkway is a nice area, but the congestion isn't worth the trip sometimes. It would be nice to have retail and restaurants in a convenient location on our way home. This project will be a nice addition to our community and we hope you will support their application in your upcoming hearings.

Thank you,

Kyle & Mandy Wooten

**From:** [Chris Jacques](#)  
**To:** [Cody Gleason](#)  
**Subject:** FW: The Shoppes and The Cove at Camino a Lago (GPA06-25 and Z25-12)  
**Date:** Wednesday, February 18, 2026 11:41:18 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

---

Another one

**Chris M. Jacques, AICP**

Planning Director  
Planning & Community Development Department  
City of Peoria, AZ  
P 623.773.7609  
[chris.jacques@peoriaaz.gov](mailto:chris.jacques@peoriaaz.gov)

Office schedule: Monday - Thursday



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---

**From:** Jon Edwards <[jon.edwards@peoriaaz.gov](mailto:jon.edwards@peoriaaz.gov)>  
**Sent:** Wednesday, February 18, 2026 11:21 AM  
**To:** Chris Jacques <[Chris.Jacques@peoriaaz.gov](mailto:Chris.Jacques@peoriaaz.gov)>  
**Cc:** Nick Nehring <[nick.nehring@peoriaaz.gov](mailto:nick.nehring@peoriaaz.gov)>  
**Subject:** The Shoppes and The Cove at Camino a Lago (GPA06-25 and Z25-12)

For your files

Jon Edwards  
Councilmember  
Willow District  
8401 West Monroe Street  
Peoria, AZ 85345-6560



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**From:** Jon Edwards [REDACTED]  
**Sent:** Wednesday, February 18, 2026 11:17 AM  
**To:** Jon Edwards <[jon.edwards@peoriaaz.gov](mailto:jon.edwards@peoriaaz.gov)>  
**Subject:** Fwd: Mixed Use development at Lake Pleasant Parkway and Deer Valley.

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----- Forwarded message -----

**From:** Advant Edge [REDACTED]  
**Date:** Wed, Feb 18, 2026 at 11:05 AM  
**Subject:** Mixed Use development at Lake Pleasant Parkway and Deer Valley.  
**To:** Jon Edwards [REDACTED]

Dear Councilman Edwards,

I'm writing to express my strong support for the proposed Mixed Use development at Lake Pleasant Parkway and Deer Valley.

As a local resident and someone deeply invested in the growth and long-term health of our community, I see this as exactly the kind of thoughtful development our area needs. This parcel has sat vacant for years. Productive, well-planned growth is far better than empty dirt.

Bringing additional retail to the Lake Pleasant corridor strengthens our local economy. It creates jobs, increases local spending, generates tax revenue, and provides services that residents are already demanding. When we support smart commercial growth, we keep dollars circulating in our own community instead of pushing residents to other parts of the Valley.

The housing component is equally important. Our market needs diversity in housing options. Not everyone wants large lots with heavy maintenance. There is real demand for smaller, well-designed homes that serve retirees, working professionals, and families who want to stay in the area but prefer lower upkeep. Providing that flexibility makes our community stronger and more inclusive.

From a broader perspective, this type of mixed-use development creates balance. It activates long-vacant land, supports local business activity, and brings housing and retail together in a way that complements the surrounding area rather than competing with it.

I support this project and respectfully encourage its approval. Smart growth, led by local companies who understand this community, is something we should welcome.

Thank you for your leadership and continued service to our city.

Sincerely,

David Bell

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**From:** [Chris Jacques](#)  
**To:** [Cody Gleason](#); [Lorie Dever](#)  
**Subject:** Fw: Lake Pleasant and Deer Valley NE Corner  
**Date:** Thursday, February 19, 2026 12:57:38 PM

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**From:** Jon Edwards <Jon.Edwards@peoriaaz.gov>  
**Sent:** Thursday, February 19, 2026 12:43 PM  
**To:** Chris Jacques <Chris.Jacques@peoriaaz.gov>; Mike Faust <mike.faust@peoriaaz.gov>; Nick Nehring <nick.nehring@peoriaaz.gov>  
**Subject:** Fw: Lake Pleasant and Deer Valley NE Corner

Chris

Can you address some of this at the meeting tonight

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**From:** Mike [REDACTED]  
**Sent:** Thursday, February 19, 2026 12:28:28 PM  
**To:** Jon Edwards <Jon.Edwards@peoriaaz.gov>; Peoria Mayor <mayor@peoriaaz.gov>; Elias Valencia <elias.valencia@peoriaaz.gov>; Jennifer Hall <jhall@roselawgroup.com>; Jeanne Stockard <jstockard@associatedasset.com>  
**Subject:** Lake Pleasant and Deer Valley NE Corner

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## **Proposed Rezoning – Northeast Corner of Deer Valley Road & Lake Pleasant Parkway**

Peoria, Arizona

To the Honorable Members of the Planning & Zoning Commission:

This correspondence constitutes formal opposition to the proposed rezoning of the northeast corner of Deer Valley Road and Lake Pleasant Parkway.

While a revised submittal has reportedly reduced certain elements, the application remains materially inconsistent with the adopted General Plan, the governing master development framework applicable to this planning area, and the reasonable reliance interests of adjacent property owners within the Meadows community.

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## **1. INCONSISTENCY WITH THE ADOPTED GENERAL PLAN & MASTER PLANNED INTENT**

Arizona law requires zoning decisions to be consistent with the municipality's adopted General Plan (A.R.S. §9-462.01(F)). The subject parcel was represented and marketed under an established master planning framework that contemplated a different intensity and character of development than what is currently proposed.

The rezoning:

- Introduces a housing product materially different in lot size, setback depth, and yard configuration than surrounding neighborhoods.
- Significantly increases perceived density and intensity.
- Alters the character transition between arterial corridors and established single-family residential.

Residents purchased homes in reliance on the published land use designations and master plan. A departure from those expectations—without demonstrable public necessity—raises legitimate concerns regarding arbitrary and capricious land use action.

A rezoning that conflicts with the adopted planning framework, without a substantial change in circumstances, is legally vulnerable.

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## **2. FAILURE TO DEMONSTRATE COMPATIBILITY WITH ADJACENT NEIGHBORHOODS**

Arizona land-use jurisprudence emphasizes compatibility and orderly development. The proposed small-lot configuration with limited yard depth and higher unit clustering:

- Disrupts the established development pattern of the Meadows.
- Alters neighborhood massing and scale.
- Creates long-term market uncertainty due to product type differentiation.

The Planning Commission must consider whether the proposal constitutes compatible infill or an incompatible intensification.

Compatibility is not satisfied merely by meeting minimum code standards. It requires contextual harmony.

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## **3. TRAFFIC, ACCESS & LIGHTING IMPACTS**

The introduction of three north-facing access points toward existing homes presents material externalities:

- Headlight intrusion.
- Increased vehicular noise.
- Cut-through traffic risks.
- Cumulative arterial congestion at Deer Valley & Lake Pleasant Parkway.

No publicly vetted traffic impact analysis has been sufficiently detailed to quantify:

- Peak hour trip generation.
- Intersection level-of-service impacts.
- Stacking impacts from the proposed commercial corner.
- Secondary neighborhood infiltration.

Without a defensible Traffic Impact Study and mitigation commitments, approval would be premature.

A single controlled access point—preferably oriented away from existing homes—would materially reduce these impacts.

---

## **4. COMMERCIAL CORNER – LACK OF USE DISCLOSURE**

The proposal provides no binding clarification regarding:

- Specific permitted commercial uses.
- Drive-through allowances.
- Hours of operation.
- Delivery vehicle circulation.
- Noise and lighting controls.

Open-ended commercial zoning at a high-traffic arterial intersection invites high-intensity uses that may be incompatible with adjacent residential.

The Commission should require conditional zoning stipulations if any approval is contemplated.

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## **5. SCHOOL CAPACITY & PUBLIC INFRASTRUCTURE STRAIN**

An estimated addition of 200+ students must be evaluated against current capacity within the applicable school district. Rezoning decisions cannot ignore public facility concurrency impacts.

Approval without demonstrated infrastructure adequacy shifts burden to existing residents.

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## **6. POTENTIAL DIMINUTION OF VALUE & RELIANCE INTERESTS**

While market fluctuation alone is not dispositive, courts recognize that rezoning which materially departs from adopted planning representations may implicate reliance interests.

Homeowners purchased under a defined master plan expectation. A substantial deviation invites:

- Economic impact.
  - Potential claims under regulatory takings theory (if expectations are materially undermined).
  - Equal protection scrutiny if similarly situated parcels are treated inconsistently.
- 

## **7. STRONG COMMUNITY OPPOSITION**

Substantial, organized opposition from the Meadows community has been documented through public forums and coordinated resident engagement.

Planning decisions must weigh the public interest—not solely developer preference.

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## **REQUEST**

For the reasons stated above, we respectfully request:

1. Denial of the rezoning application as currently proposed; or
2. At minimum, substantial modifications including:
  - Reduced density.
  - Single controlled access point.
  - Binding commercial use restrictions.

- Enhanced buffering and setback requirements.
- Verified traffic mitigation measures.
- Formal infrastructure capacity confirmation.

Approval in its current form would be inconsistent with the adopted planning framework, incompatible with adjacent development, and potentially vulnerable to legal challenge.

We respectfully request that the Commission uphold the integrity of the General Plan and deny this application.

Sincerely,  
Michael R Steg  
Resident, Meadows Community  
Peoria, Arizona